

SIGNATURE BLOCKS

BOARD OF TRUSTEES CERTIFICATE

Approved by the Board of Trustees of the Town of Superior, State of Colorado
Witness my hand and corporate seal of the Town of Superior, this 13th day of May, 2017.

Attest: Phyllis R. Hardin Clint Folsom
Town Clerk Mayor



PLANNING COMMISSION CERTIFICATE

Recommended approval this 21st day of February, 2017, by the Town of Superior Planning Commission, Resolution No. PC 2 Series 2017.

TOWN CLERK CERTIFICATE

I hereby certify that this instrument was adopted by the Board of Trustees by (Resolution/ Ordinance) No. R-20, Series 2017, on this 13th day of March, 2017, and was filed in my office on the 17th day of May, 2017, at 11:00 o'clock a.m.

Phyllis R. Hardin
Town Clerk

CERTIFICATE OF OWNERSHIP- RC SUPERIOR, LLC, a Delaware limited liability company
By: Superior Town Center ASU VII Holdings, LLC, a Delaware limited liability company, its sole Member
By: Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, its sole Member
By: Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, its Managing General Partner
By: Avanti Management Corporation, a Florida corporation, its sole General Partner

I certify that Maria Shapiro am the sole owner of the property and consent to this plan.

In witness whereof I hereunto set my hand this 9 day of May, 2017.

Maria Shapiro

Owner, Title: Mortgagees or Lien Holders
STATE OF Florida
South Florida sup
1st Western Alliance Bnk
County of Orange

The foregoing certificate of ownership was acknowledged before me this 9 day of May, 2017 by Janet R. Morales

My commission expires: May 28, 2019 Janet R. Morales

JANET R. MORALES
NOTARY PUBLIC STATE OF FLORIDA
EXPIRES: 05/28/2019
Notary Public

CERTIFICATE OF OWNERSHIP- TOWN OF SUPERIOR, COLORADO

I certify that Clint Folsom am an owner representative of the property and consent to this plan.

In witness whereof I hereunto set my hand this 12th day of May, 2017.

Clint Folsom

Town of Superior, Colorado

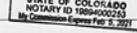
STATE OF COLORADO) ss.

County of Boulder)

The foregoing certificate of ownership was acknowledged before me this 12th day of May, 2017 by Clint Folsom

My commission expires: 2-5-2021 Phyllis R. Hardin

PHYLLIS R. HARDIN
NOTARY PUBLIC STATE OF COLORADO
EXPIRES: 02/05/2021
Notary Public



Memo of Record
Recorded May 17, 2017
Receipt on # 03592944

**SUPERIOR TOWN CENTER
FINAL DEVELOPMENT PLAN 1 - PHASE 1
AMENDMENT #1 - PAVING AND LANDSCAPING**
March 13, 2017



SHEET INDEX

1	Cover	CS1.0
2	Overall Site Plan	C1.0
3	Partial Site Plan 1	C1.1
4	Partial Site Plan 2	C1.2
5	Partial Site Plan 3	C1.3
6	Partial Site Plan 4	C1.4
7	Partial Site Plan 5	C1.5
8	Partial Site Plan 6	C1.6
9	Overall Utility Plan 1	C2.0
10	Overall Utility Plan 2	C2.1
11	Overall Grading Plan	C3.0
12	Overall Drainage Plan	C4.0
13	Wall Sections 1	C5.0
14	Wall Sections 2	C5.1
15	Wall Profile 1	C5.2
16	Wall Profile 2	C5.3
17	Partial Paving Plan 1	L1.0
18	Partial Paving Plan 2	L1.1
19	Partial Paving Plan 3	L1.2
20	Partial Paving Plan 4	L1.3
21	Materials and Site Furnishings	L1.4
22	Character Studies	L1.5
23	Partial Planting Plan 1	L2.0
24	Partial Planting Plan 2	L2.1
25	Partial Planting Plan 3	L2.2
26	Partial Planting Plan 4	L2.3
27	Partial Planting Plan 5	L2.4
28	Partial Planting Plan 6	L2.5
29	Plant List	L2.6
30	Planting Details	L2.7
31	Lift Station Elevations 1	A1.1
32	Lighting & Photometric Plan Sheet	LE1.1
33	Lighting & Photometric Plan Sheet	LE1.2
34	Lighting & Photometric Plan Sheet	LE1.3
35	Lighting & Photometric Plan Sheet	LE1.4
36	Lighting Details	LE1.5
37	Lighting Details	LE1.6

UNDER OF SEPARATE COVER

- FINAL DEVELOPMENT PLAN NARRATIVE PHASE I

DEVELOPER

RC SUPERIOR, LLC
ATTENTION: BILL JENCKS
VICE PRESIDENT OF REAL ESTATE
12275 EL CAMINO REAL, SUITE 110
SAN DIEGO, CALIFORNIA 92130
654-523-1799
BILL@RCCHARTARTAL.COM

ENGINEER

CIVIL RESOURCES, LLC
JIM BRZOSTOWICZ, P.E.
SR. PROJECT MANAGER
323 5TH STREET, P.O. BOX 680
FREDERICK, CO 80502
303-433-1418 X.203
JIM@CIVILRESOURCES.COM

LANDSCAPE ARCHITECT

MIG, INC.
PAUL KURN, RLA
ANGIE HILBERS, PROJECT MANAGER
518 17TH STREET
SUITE 630
DENVER, CO 80202
WWW.MIGCOM.COM
ANGIE@MIGCOM.COM

LEGAL DESCRIPTION

BASE OF BEARING:
ASSUMING THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 7, T.14S, R.49W, AS BEARING NORTH 89°30'37" EAST BEING A GROUND BEARING OF THE COLORADO STATE PLAN COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD 83), A DISTANCE OF 175.45 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINE DIMENSIONS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT"

VERTICAL DATUM:
REMARK: A BENCHMARK BRASS BOLT EMBEDDED IN THE CONCRETE SIDEWALK ALONG THE EASTERLY SIDE OF McCALLIN BOULEVARD NEAR THE BRIDGE CROSSING CAL CREEK, STAMPED "TOWN CENTER 1" AND "2064"

PARCEL DESCRIPTION:
Multiple parcels of land being portions of Parcels A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

COMMENCING AT the West Quarter corner of said Section 19 and assuming the West line of the Southwest Quarter of said North Quarter as bearing North 91°14'50" West being a Goid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (NAD 83), a distance of 1164.98 feet with other bearings contained herein relative thereto.

THENCE North 49°04'40" East a distance of 630.89 feet to the Southerly line of Parcel B of said Superior Town Center Filing No. 18 and to the POINT OF BEGINNING.

THENCE North 4°00'21" West a distance of 73.34 feet.

THENCE North 80°21'17" East a distance of 20.00 feet to the Northerly line of Parcel A of said Superior Town Center Filing No. 18.

THENCE South 87°24'47" East along said Northerly line a distance of 67.88 feet to the Southerly line of Parcel 1 of Superior Town Center Filing No. 18 and to the beginning point of a non-tangent curve.

THENCE along said Southerly line of a curve concave to the Northwest a distance of 60.28 feet, said curve has a Radius of 50.00 feet, a Delta of 69°04'40" and is subtended by a Chord that bears South 87°24'47" East a distance of 36.70 feet to the end point of said curve.

THENCE North 77°19'19" East along a line non-tangent to the aforementioned curve a distance of 67.35 feet to the Southerly line of Lot 1, Block 7 of Superior Town Center Filing No. 18 and to the beginning point of a non-tangent curve.

THENCE along said Southerly line of a curve concave to the Northwest a distance of 128.29 feet, said curve has a Radius of 120.00 feet, a Delta of 87°00'07" and is subtended by a Chord that bears South 87°24'47" East a distance of 128.29 feet to the Northerly line of Parcel C of said Superior Town Center Filing No. 18 and to the end point of said curve.

THENCE South 80°10'10" East along said Northerly line a distance of 243.56 feet to the Westerly ROW line of Arroyo B (Marshall Road) delineated by action of said Superior Town Center Filing No. 18.

THENCE South 17°32'17" East along said Northerly line a distance of 19.35 feet to the Westerly prolongation of the Northerly line of Parcel E of said Superior Town Center Filing No. 18.

The following two (2) corners are along said Westerly prolongation and the Northerly line of said Parcel E:

THENCE North 17°32'17" West along said Westerly line and along the Northerly prolongation thereof a distance of 475.00 feet to the Northerly line of Parcel C of said Superior Town Center Filing No. 18.

The following three (3) corners are along said Westerly prolongation and the Northerly, Easterly, and Southerly lines of said Parcel C:

THENCE South 17°32'17" East a distance of 48.00 feet.

THENCE North 17°32'17" West a distance of 48.17 feet.

THENCE South 17°32'17" East a distance of 14.15 feet.

THENCE North 17°32'17" West a distance of 14.15 feet.

THENCE South 17°32'17" East a distance of 19.19 feet.

THENCE North 17°32'17" West a distance of 17.77 feet.

THENCE South 17°32'17" East along said Northerly prolongation and the Westerly line of said Parcel B a distance of 102.34 feet.

THENCE South 17°32'17" East a distance of 114.68 feet to a Point of Curvature (PC).

THENCE along the line of a curve concave to the Northwest a distance of 1.30 feet, said curve has a Radius of 1.30 feet, a Delta of 137°00'00" and is subtended by a Chord that bears South 27°13'17" East a distance of 2.37 feet to a Point of Tangency (PT).

THENCE North 17°32'17" East along said Westerly line of said Parcel B a distance of 64.88 feet.

THENCE South 17°32'17" East a distance of 14.42 feet.

THENCE North 17°32'17" West a distance of 18.00 feet to the Westerly line of Parcel H of said Superior Town Center Filing No. 18 (Parcel No. 2).

THENCE South 17°32'17" East along said Westerly line a distance of 5.88 feet.

THENCE South 17°32'17" East a distance of 18.00 feet.

THENCE North 17°32'17" West along said Westerly line a distance of 7.77 feet to a PC.

THENCE along the line of a curve concave to the Northwest a distance of 4.33 feet, said curve has a Radius of 4.33 feet, a Delta of 137°00'00" and is subtended by a Chord that bears South 27°13'17" East a distance of 7.77 feet to a Point of Tangency (PT).

THENCE South 17°32'17" East a distance of 12.13 feet.

THENCE North 17°32'17" West a distance of 12.13 feet to the Westerly line of Parcel H of said Superior Town Center Filing No. 18 (Parcel No. 2).

THENCE South 17°32'17" East along said Westerly line a distance of 23.84 feet to a PC.

THENCE along the line of a curve concave to the Southwest a distance of 2.3388 feet, said curve has a Radius of 4.5956 feet, a Delta of 49°00'00" and is subtended by a Chord that bears South 87°24'47" East a distance of 2.48 feet to a PC.

THENCE along the line of a curve concave to the Northwest a distance of 1.33 feet, said curve has a Radius of 1.33 feet, a Delta of 137°00'00" and is subtended by a Chord that bears South 27°13'17" East a distance of 2.37 feet to a PC.

THENCE South 17°32'17" East a distance of 21.17 feet to a PT.

THENCE North 17°32'17" West a distance of 21.17 feet to the Westerly line of Parcel H of said Superior Town Center Filing No. 18 (Parcel No. 2).

THENCE South 17°32'17" East along said Westerly line a distance of 7.77 feet.

THENCE North 17°32'17" West a distance of 20.45 feet.

THENCE South 17°32'17" East a distance of 10.72 feet.

THENCE North 17°32'17" West a distance of 20.73 feet.

THENCE South 17°32'17" East a distance of 23.84 feet to a PC.

THENCE along the line of a curve concave to the Southwest a distance of 1.33 feet, said curve has a Radius of 1.33 feet, a Delta of 137°00'00" and is subtended by a Chord that bears South 27°13'17" East a distance of 2.37 feet to a PC.

The following two (2) corners are along the Easterly, Northerly, and Southerly lines of said Lot 1, Block 15, Superior Town Center Filing No. 18 as recorded August 14, 2016 as Reception No. 0319242 of the Records of Boulder County:

THENCE North 17°32'17" West a distance of 67.54 feet.

THENCE South 17°32'17" East a distance of 19.89 feet.

THENCE North 17°32'17" West a distance of 60.00 feet to the Southerly line of Lot 1, Block 11 of said Superior Town Center Filing No. 18.

The following three (3) corners are along the Southerly, Easterly, Northerly, and Westerly lines of said Lot 1, Block 11:

THENCE North 17°32'17" East a distance of 21.89 feet.

THENCE South 17°32'17" West a distance of 25.00 feet.

THENCE North 17°32'17" East a distance of 202.00 feet.

THENCE South 17°32'17" West a distance of 21.19 feet.

The following three (3) corners are along the Easterly, Northerly, and Southerly lines of said Parcel 2 of Discovery Office Park/ Superior Town Center as recorded May 20, 2013 as Reception No. 0344670 of the Records of Boulder County:

THENCE North 17°32'17" West a distance of 66.00 feet to the Easterly line of Lot 1, Block 19 of Superior Town Center Filing No. 18.

THENCE South 17°32'17" East a distance of 22.87 feet, said curve has a Radius of 45.00 feet, a Delta of 64°34'53" and is subtended by a Chord that bears South 17°32'17" East a distance of 45.00 feet to the Point of Curvature (PC).

THENCE along the line of a curve concave to the Southwest a distance of 22.87 feet, said curve has a Radius of 45.00 feet, a Delta of 64°34'53" and is subtended by a Chord that bears South 17°32'17" East a distance of 45.00 feet to the Point of Curvature (PC).

THENCE along the line of a curve concave to the Northwest a distance of 63.53 feet, said curve has a Radius of 132.00 feet, a Delta of 17°34'54" and is subtended by a Chord that bears South 87°24'47" East a distance of 23.89 feet to the Northerly corner of Parcel 2 of Discovery Office Park/ Superior Town Center as recorded May 20, 2013 as Reception No. 0344670 of the Records of Boulder County and to the end point of said curve.

THENCE North 77°19'19" East along a line non-tangent to the aforementioned curve a distance of 63.53 feet to the beginning point of a non-tangent curve.

THENCE along the line of a curve concave to the Southwest a distance of 21.17 feet, said curve has a Radius of 21.17 feet, a Delta of 137°00'00" and is subtended by a Chord that bears North 17°32'17" West a distance of 20.73 feet to a PC.

THENCE along the line of a curve concave to the Southwest a distance of 12.12 feet, said curve has a Radius of 12.12 feet, a Delta of 137°00'00" and is subtended by a Chord that bears North 87°24'47" East a distance of 12.12 feet to a PC.

THENCE South 17°32'17" East a distance of 41.77 feet to the POINT OF BEGINNING.

Said described parcel of land contains 180,911 Square Feet or 4.153 Acres, more or less (±).

TOGETHER WITH a parcel of land being a portion of Tract D of Superior Town Center Filing No. 18 as recorded February 23, 2014 as Reception No. 03367475 of the Records of Boulder County, along with Lot 1, Block 12 of Superior Town Center Filing No. 18 (Parcel No. 2) as recorded December 2, 2014 as Reception No. 03416228 of the Records of Boulder County, along with the Northwest Quarter (NW1/4) of Section 19, Township 14 North, Range 50 East, T.14N, R.50E, S.19E of the Sixth Principal Meridian (68° P.M.), Town of Superior, County of Boulder, State of Colorado and being more particularly described as follows:

COMMENCING AT the West Quarter corner of said Section 19 and assuming the West line of the Southwest Quarter of said North Quarter as bearing North 91°14'50" West being a Goid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (NAD 83), a distance of 1164.98 feet with other bearings contained herein relative thereto.

THENCE North 89°30'37" East along the South line of said Southwest Quarter of the Northwest Quarter a distance of 1274.43 feet to the Corner West (Southeast corner of said Section 19).

THENCE North 79°04'24" a distance of 767.35 feet to a point on the South line of Lot 1, Block 12 of said Superior Town Center Filing No. 18 (Parcel No. 2), Reception No. 03416228, being the Southerly prolongation of the Westerly line of Tract D of said Superior Town Center Filing No. 18, Reception No. 03367475, and to the POINT OF BEGINNING.

The following five (5) corners are along said Southerly prolongation and the Westerly, Northerly, Easterly and Southerly lines of said Tract D:

THENCE North 17°32'17" East a distance of 639.39 feet.

THENCE South 17°32'17" West a distance of 114.64 feet.

THENCE North 17°32'17" East a distance of 114.64 feet.

THENCE South 17°32'17" West a distance of 24.51 feet.

THENCE North 17°32'17" East a distance of 102.34 feet.

THENCE South 17°32'17" West a distance of 18.82 feet.

THENCE North 17°32'17" East a distance of 18.82 feet to the Northerly prolongation of the Easterly line of said Lot 1, Block 12.

The following two (2) corners are along said Southerly prolongation and along the Easterly and Southerly lines of said Lot 1, Block 12:

THENCE North 17°32'17" East a distance of 168.78 feet.

THENCE South 17°32'17" West a distance of 23.00 feet to the POINT OF BEGINNING.

Said described parcel of land contains 130,608 Square Feet or 2.998 Acres, more or less (±).



151 17th Street
SUITE 630
DENVER, CO 80202

**SUPERIOR TOWN CENTER
FINAL DEVELOPMENT PLAN 1 - PHASE 1
AMENDMENT #1 - PAVING AND LANDSCAPING**

REVISIONS

NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MPAR REVIEW	04-10-17
5	MPARS	05-05-17

DESIGNED BY: ABZ
DRAWN BY: ABZ
CHECKED BY: PMSK
JOB NO.:
DWG NAME:

COVER

SHEET: **CS1.0**

SIGNATURE BLOCKS

BOARD OF TRUSTEES CERTIFICATE

Approved by the Board of Trustees of the Town of Superior, State of Colorado.
 Witness my hand the corporate seal of the Town of Superior
 day of _____, 20____.

Attest: _____
 Town Clerk Mayor

PLANNING COMMISSION CERTIFICATE

Recommended approval this _____ day of _____, 20____, by the Town
 of Superior Planning Commission, Resolution No. PC _____ Series 20____.

TOWN CLERK CERTIFICATE

I hereby certify that this instrument was adopted by the Board of Trustees by {Resolution/
 Ordinance} No. _____, Series 20____, on this _____ day of _____,
 20____, and was filed in my office on the _____ day of _____, 20____, at
 _____ o'clock _____ m.

 Town Clerk

CERTIFICATE OF OWNERSHIP: RC SUPERIOR, LLC, a Delaware limited liability company
 By: Superior Town Center ASLI VII Holdings, LLC, a Delaware limited liability company, its sole Member
 By: Avanti Strategic Land Investors VII, L.L.L.P., a Delaware limited liability limited partnership, its sole
 Member
 By: Avanti Properties Group II, L.L.L.P., a Delaware limited liability limited partnership, its Managing
 General Partner
 By: Avanti Management Corporation, a Florida corporation, its sole General Partner

I certify that I, _____, am the sole owner of the property and
 consent to this plan.

In witness whereof I hereunto set my hand this ___ day of _____, 20____.

Owner, Title: _____ Mortgagees or Lien Holders

STATE OF _____)
) ss.

County of _____)

The foregoing certificate of ownership was acknowledged before me this _____

day of _____, 20____, by _____.

My commission expires: _____

 Notary Public

CERTIFICATE OF OWNERSHIP: TOWN OF SUPERIOR, COLORADO

I certify that I, _____, am an owner representative of the property and
 consent to this plan.

In witness whereof I hereunto set my hand this ___ day of _____, 20____.

Town of Superior, Colorado

STATE OF COLORADO)
) ss.

County of Boulder)

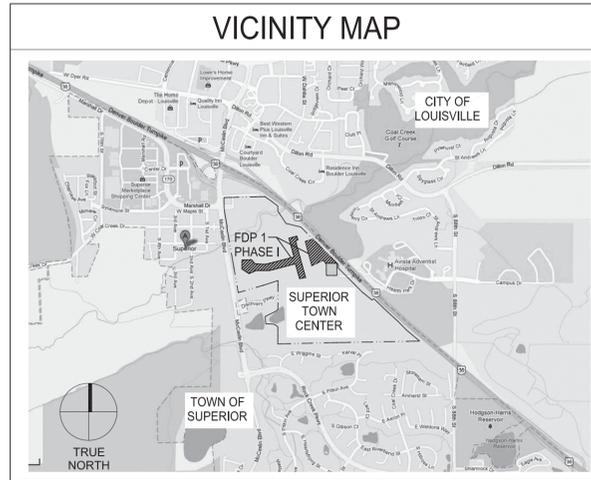
The foregoing certificate of ownership was acknowledged before me this _____

day of _____, 20____, by _____.

My commission expires: _____

 Notary Public

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN 1 - PHASE 1 AMENDMENT #1 - PAVING AND LANDSCAPING March 13, 2017



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1	Cover	CS1.0
2	Overall Site Plan	C1.0
3	Partial Site Plan 1	C1.1
4	Partial Site Plan 2	C1.2
5	Partial Site Plan 3	C1.3
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32	Lighting & Photometric Plan Sheet	LE1.1
33	Lighting & Photometric Plan Sheet	LE1.2
34	Lighting & Photometric Plan Sheet	LE1.3
35	Lighting & Photometric Plan Sheet	LE1.4
36	Lighting Details	LE1.5
37	Lighting Details	LE1.6

UNDER OF SEPARATE COVER

- FINAL DEVELOPMENT PLAN NARRATIVE PHASE I

DEVELOPER

RC SUPERIOR, LLC
 ATTENTION: BILL JENCKS
 VICE PRESIDENT OF REAL ESTATE
 12275 EL CAMINO REAL SUITE 110
 SAN DIEGO, CALIFORNIA 92130
 858-523-1799
 BJENCKS@RANCHCAPITAL.COM

ENGINEER

CIVIL RESOURCES, LLC
 JIM BRZOSTOWICZ, P.E.
 SR. PROJECT MANAGER
 323 5TH STREET, P.O. BOX 680
 FREDERICK, CO 80530
 303-833-1416 X 203
 JIM@CIVILRESOURCES.COM

LANDSCAPE ARCHITECT

MIG, INC.
 PAUL KUHN, RLA
 ANGIE HULSEBIL, PROJECT MANAGER
 518 17TH STREET
 SUITE 630
 DENVER, CO 80206
 303.440.9200 | WWW.MIGCOM.COM
 ANGIEH@MIGCOM.COM

LEGAL DESCRIPTION

BASIS OF BEARING

ASSUMING THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 9, T.1S, R.69W., AS BEARING NORTH 88°53'03"
 EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/
 2011, A DISTANCE OF 1274.43 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERE TO.

THE LINEAL DIMENSIONS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT"

VERTICAL DATUM:

BENCHMARK: A 3" DIAMETER BRASS DISK EMBEDDED IN THE CONCRETE SIDEWALK ALONG THE EASTERLY SIDE OF McCASLIN
 BOULEVARD NEAR THE BRIDGE CROSSING COAL CREEK, STAMPED "UDFC NUMBER 1" AND "2004"
 NAVD 1988 ELEVATION 5489.55 (BASED ON GPS OBSERVATION)

PARCEL DESCRIPTION

Multiple parcels of land being portions of Parcels A, B, C, D, E, F, and G, along with portions of Main Street, Superior Drive, and Old Rail Way Right-of-Way (ROW)
 dedicated by action of Superior Town Center Filing No. 1B as recorded February 25, 2014 as Reception No. 03367475 of the Records of Boulder County, along with Tract
 C of Superior Town Center Filing No. 1B Replat No. 2 as recorded December 2, 2014 as Reception No. 03415628 of the Records of Boulder County, and along with a
 portion of Superior Drive ROW dedicated by action of the Superior Town Center Filing No. 1B Replat No. 3 as recorded December 1, 2016 as Reception No. 03560623 of
 the Records of Boulder County, situate in the Northwest Quarter (NW1/4) of Section Nineteen (19), Township One South (T.1S.), Range Sixty-nine West (R.69W.) of the
 Sixth Principal Meridian (6th P.M.), Town of Superior, County of Boulder, State of Colorado and being more particularly described as follows:

COMMENCING at the West Quarter corner of said Section 19 and assuming the West line of the Southwest Quarter of said Northwest Quarter as bearing North 01°14'50"
 West being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 1316.98 feet with all other
 bearings contained herein relative thereto;

THENCE North 49°00'46" East a distance of 630.89 feet to the Southerly line of Parcel B of said
 Superior Town Center Filing No. 1B and to the **POINT OF BEGINNING**;
 THENCE North 01°09'25" West a distance of 73.94 feet;
 THENCE North 04°33'13" East a distance of 20.00 feet to the Northerly line of Parcel A of said Superior Town Center Filing No. 1B;
 THENCE South 85°26'47" East along said Northerly line a distance of 67.98 feet to the Southeasterly line of Parcel 1 of Superior Town Center Filing No. 1B Replat No. 3
 and to the beginning point of a non-tangent curve;
 THENCE along said Southeasterly arc of a curve concave to the Northwest a distance of 60.28 feet, said curve has a Radius of 50.00 feet, a Delta of 69°04'40" and is
 subtended by a Chord that bears North 19°28'44 East a distance of 56.70 feet to the end point of said curve;
 THENCE North 75°10'19" East along a line non-tangent to the aforesaid curve a distance of 67.35 feet to the Southwesterly arc of Lot 1, Block 5 of Superior Town Center
 Filing No. 1B and to the beginning point of a non-tangent curve;
 THENCE along said Southwesterly arc of a curve concave to the Northeast a distance of 128.29 feet, said curve has a Radius of 210.00 feet, a Delta of 35°00'05" and is
 subtended by a Chord that bears South 47°46'03" East a distance of 126.30 feet to the Northerly line of Parcel C of said Superior Town Center Filing No. 1B and to the end
 point of said curve;
 THENCE South 86°41'06" East along said Northerly line a distance of 243.86 feet to the Westerly ROW line of Avenue B (Marshall Road) dedicated by action of said
 Superior Town Center Filing No. 1B;

THENCE South 15°03'36" East along said Westerly ROW line a distance of 10.39 feet to the Westerly Prolongation of the Northerly line of Parcel E of Superior Town
 Center Filing No. 1B;
 The following Two (2) courses are along said Westerly prolongation and the Northerly and Westerly lines of said Parcel E:
 THENCE North 74°56'24" East a distance of 717.01 feet;
 THENCE North 15°03'34" West along said Westerly line and along the Northerly prolongation thereof a distance of 475.60 feet to the Westerly prolongation of the
 Northerly line of Tract C of Superior Town Center Filing No. 1B Replat No. 2;

The following Three (3) courses are along said Westerly prolongation and the Northerly, Easterly, and Southerly lines of said Tract C:
 THENCE North 74°56'26" East a distance of 140.00 feet;
 THENCE South 15°03'34" East a distance of 88.00 feet;
 THENCE South 74°56'26" West a distance of 66.00 feet;
 THENCE North 15°03'36" West a distance of 45.17 feet;
 THENCE South 74°56'38" West a distance of 34.01 feet;
 THENCE South 15°02'58" East a distance of 19.10 feet;
 THENCE South 82°33'36" East a distance of 2.77 feet;
 THENCE North 29°56'24" East a distance of 12.13 feet;
 THENCE South 60°03'36" East a distance of 9.72 feet to the Northerly prolongation of the Westerly line of Parcel H of Superior Town Center Filing No. 1B Replat No. 2;
 THENCE South 15°03'34" East along said Northerly prolongation and the Westerly line of said Parcel H a distance of 102.24 feet;
 THENCE South 29°56'29" West a distance of 25.24 feet;
 THENCE South 14°58'59" East a distance of 114.68 feet to a Point of Curvature (PC);
 THENCE along the arc of a curve concave to the Northeast a distance of 3.54 feet, said curve has a Radius of 1.50 feet, a Delta of 135°04'37" and is subtended by a Chord
 that bears South 82°31'17" East a distance of 2.77 feet to a Point of Tangency (PT);
 THENCE North 29°56'24" East a distance of 12.13 feet;
 THENCE South 60°03'36" East a distance of 9.71 feet to the Westerly line Parcel H of Superior Town Center Filing No. 1B Replat No. 2;
 THENCE South 15°03'34" East along said Westerly line a distance of 64.06 feet;
 THENCE South 29°56'24" West a distance of 23.59 feet to a PC;
 THENCE along the arc of a curve concave to the Southeast a distance of 3.53 feet, said curve has a Radius of 4.50 feet, a Delta of 45°00'00" and is subtended by a Chord that
 bears South 07°26'24" West a distance of 3.44 feet to a PT;
 THENCE South 15°03'36" East a distance of 5.83 feet to a PC;
 THENCE along the arc of a curve concave to the Northeast a distance of 3.53 feet, said curve has a Radius of 1.50 feet, a Delta of 135°00'00" and is subtended by a Chord
 that bears South 82°33'36" East a distance of 2.77 feet to a PT;

THENCE North 74°56'44" East a distance of 18.00 feet to the Westerly line Parcel H of Superior Town Center Filing No. 1B Replat No. 2;
 THENCE South 15°03'34" East along said Westerly line a distance of 58.01 feet;
 THENCE North 74°56'08" West a distance of 18.00 feet;
 THENCE South 15°03'30" East a distance of 28.14 feet to a PC;
 THENCE along the arc of a curve concave to the Northeast a distance of 3.53 feet, said curve has a Radius of 1.50 feet, a Delta of 135°00'06" and is subtended by a Chord
 that bears South 82°33'33" East a distance of 2.77 feet to a PT;
 THENCE North 29°56'24" East a distance of 12.13 feet;
 THENCE South 60°03'36" East a distance of 9.71 feet to the Westerly line Parcel H of Superior Town Center Filing No. 1B Replat No. 2;
 THENCE South 15°03'34" East along said Westerly line a distance of 102.24 feet;
 THENCE South 29°56'24" West a distance of 23.59 feet to a PC;
 THENCE along the arc of a curve concave to the Southeast a distance of 3.53 feet, said curve has a Radius of 4.50 feet, a Delta of 45°00'00" and is subtended by a Chord that
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 bears South 07°26'24" West a distance of 3.44 feet to a PT;

Said described parcel of land contains 180,911 Square Feet or 4.153 Acres, more or less (±).

THENCE North 88°53'03" East along the South line of said Southwest Quarter of the Northwest Quarter a distance of 1274.43 feet to the Center-West Sixteenth corner of
 said Section 19;
 THENCE North 73°03'04" a distance of 967.73 feet to a point on the South line of Lot 3, Block 12 of said Superior Town Center Filing No. 1B Replat No. 2, Reception No.
 03415628, being the Southeasterly prolongation of the Westerly line of Tract D of said Superior Town Center Filing No. 1B, Reception No. 03367475, and to the **POINT
 OF BEGINNING**;
 The following Five (5) courses are along said Southeasterly prolongation and the Westerly, Northerly, Easterly and Southerly lines of said Tract D:
 THENCE North 15°03'34" West a distance of 639.30 feet;
 THENCE North 17°04'56" East a distance of 118.61 feet;
 THENCE South 45°06'17" East a distance of 742.50 feet;
 THENCE South 89°13'28" West a distance of 241.51 feet;
 THENCE North 33°29'25" West a distance of 102.19 feet;
 THENCE South 55°01'47" West a distance of 118.82 feet;
 THENCE South 29°36'56" West a distance of 54.52 feet to the Northwesterly prolongation of the Easterly line of said Lot 3, Block 12;
 The following Two (2) courses are along said Northwesterly prolongation and along the Easterly and Southerly lines of said Lot 3, Block 12:
 THENCE North 15°03'34" East a distance of 168.78 feet;
 THENCE South 74°56'26" West a distance of 25.00 feet to the **POINT OF BEGINNING**;

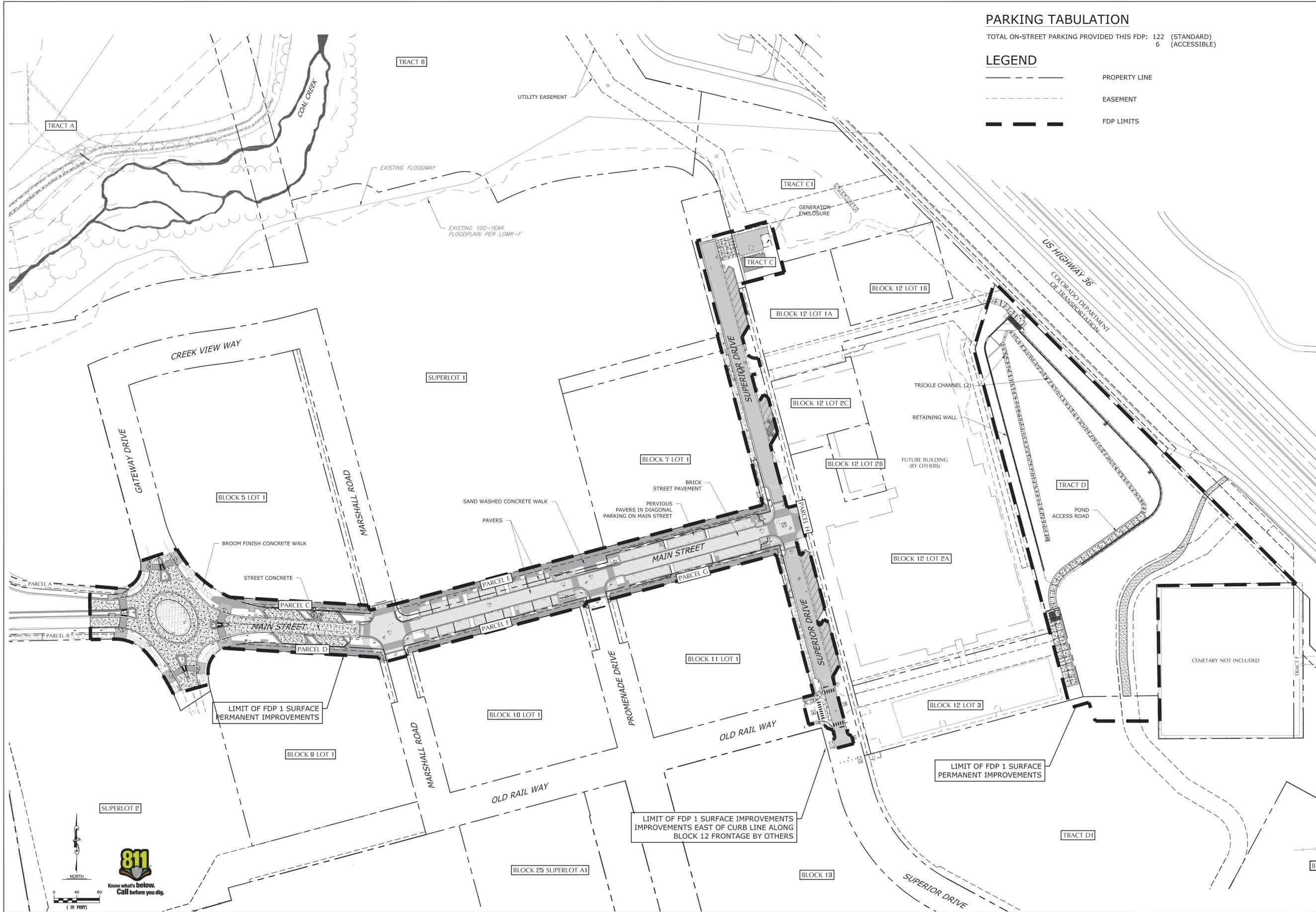


SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN 1 - PHASE 1 AMENDMENT #1 - PAVING AND LANDSCAPING

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: ARH DATE: 05/05/2017
 DRAWN BY: ARH SCALE:
 CHECKED BY: PMK
 JOB NO.:
 DWG NAME:

COVER
 SHEET:
CS1.0



PARKING TABULATION

TOTAL ON-STREET PARKING PROVIDED THIS FDP: 122 (STANDARD)
6 (ACCESSIBLE)

LEGEND

- PROPERTY LINE
- - - EASEMENT
- FDP LIMITS



CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416 (p)
303.833.2850 (f)
WWW.CIVILRESOURCES.COM

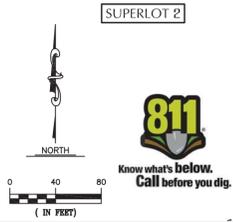
**SUPERIOR TOWN CENTER
FINAL DEVELOPMENT PLAN 1 - PHASE 1
AMENDMENT # 1 - PAVING AND LANDSCAPING**

REVISIONS		
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5	MYLARS	05-05-17

DESIGNED BY: JAB DATE: 05/05/17
DRAWN BY: CAL SCALE: 1"=80'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME: FDP1-1_OSP1.dwg

OVERALL SITE PLAN

SHEET:
C1.0



LIMIT OF FDP 1 SURFACE PERMANENT IMPROVEMENTS

LIMIT OF FDP 1 SURFACE IMPROVEMENTS EAST OF CURB LINE ALONG BLOCK 12 FRONTAGE BY OTHERS

LIMIT OF FDP 1 SURFACE PERMANENT IMPROVEMENTS

CEMETARY NOT INCLUDED

FUTURE BUILDING (BY OTHERS)

EXISTING 100-YEAR FLOODPLAIN PER LOMR-F

EXISTING FLOODWAY

UTILITY EASEMENT

GENERATOR ENCLOSURE

US HIGHWAY 36
COLORADO DEPARTMENT OF TRANSPORTATION

TRICKLE CHANNEL (2)

RETAINING WALL

POND ACCESS ROAD

PERVIOUS PAVERS IN DIAGONAL PARKING ON MAIN STREET

SAND WASHED CONCRETE WALK PAVERS

BROOM FINISH CONCRETE WALK

STREET CONCRETE

BRICK STREET PAVEMENT

TRACT D1

TRACT D

TRACT C1

TRACT C

TRACT A

TRACT B

BLOCK 9 LOT 1

BLOCK 10 LOT 1

BLOCK 11 LOT 1

BLOCK 12 LOT 3

BLOCK 12 LOT 2A

BLOCK 12 LOT 2B

BLOCK 12 LOT 2C

BLOCK 12 LOT 1A

BLOCK 12 LOT 1B

BLOCK 5 LOT 1

SUPERLOT 1

SUPERLOT 2

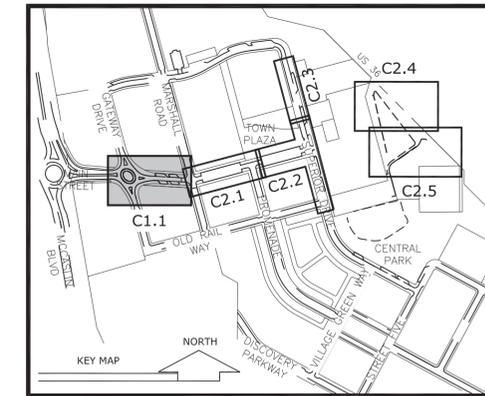
BLOCK 25 SUPERLOT A1

BLOCK 13

B1



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 FREDERICK, CO 80530
 303.833.1416 (p)
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PAVEMENT AND SURFACING LEGEND

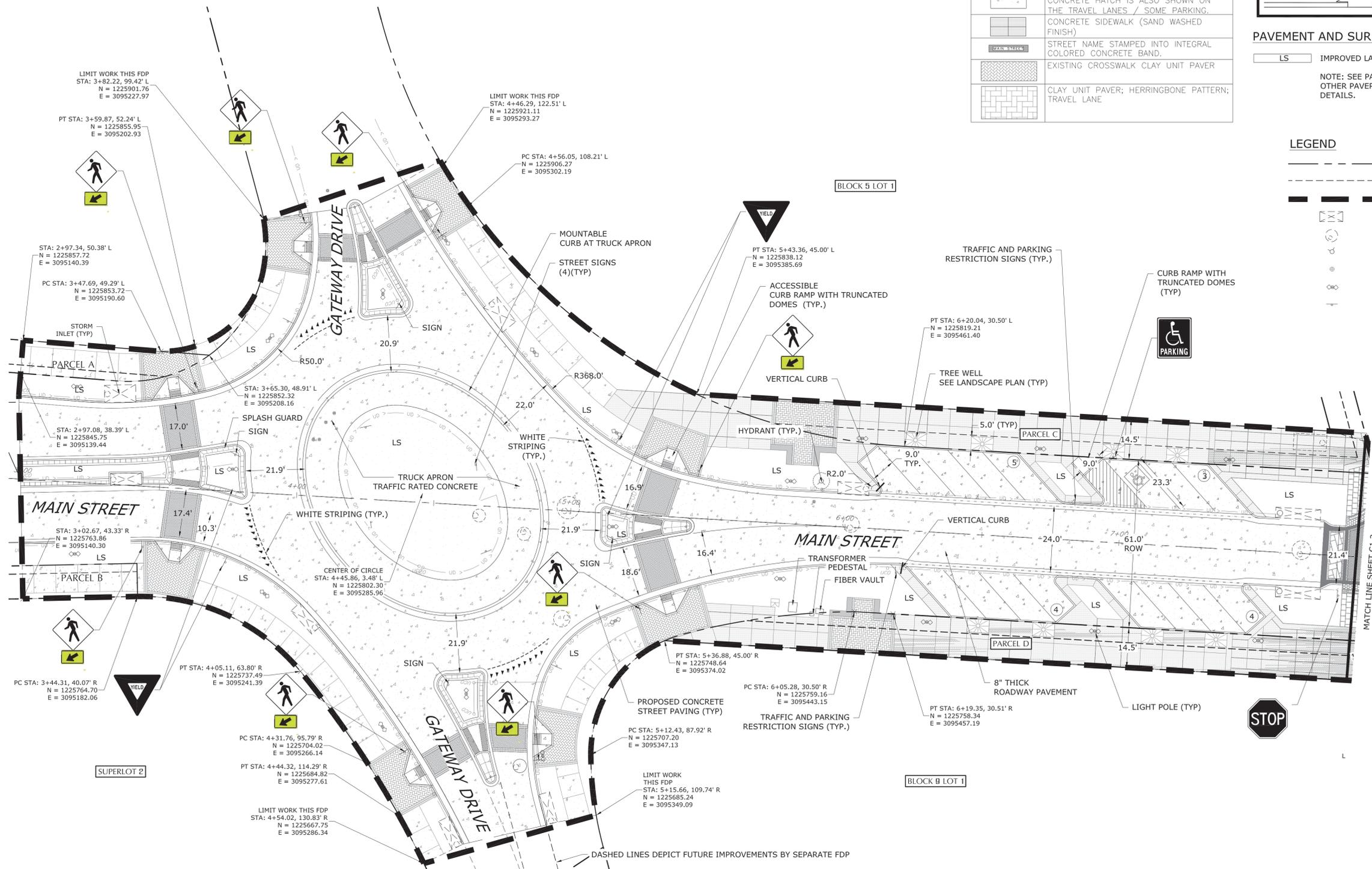
PAVING KEY	
SYMBOL	MATERIAL
	CLAY UNIT PAVER; HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE WITH INTEGRATED PARKING STRIPES
	CLAY UNIT PAVER, SOLDIER COURSE
	INTEGRAL COLORED CONCRETE BAND
	CLAY UNIT PAVER; HERRINGBONE PATTERN
	CLAY UNIT PAVER; DOUBLE SOLDIER COURSE
	CAST IRON TRUNCATED DOME PANEL
	SANDSTONE PAVER
	CONCRETE SIDEWALK (BROOM FINISH). CONCRETE HATCH IS ALSO SHOWN ON THE TRAVEL LANES / SOME PARKING.
	CONCRETE SIDEWALK (SAND WASHED FINISH)
	STREET NAME STAMPED INTO INTEGRAL COLORED CONCRETE BAND.
	EXISTING CROSSWALK CLAY UNIT PAVER
	CLAY UNIT PAVER; HERRINGBONE PATTERN; TRAVEL LANE

LS IMPROVED LANDSCAPE AREAS WITHIN HARDSCAPE

NOTE: SEE PAVING PLANS AND LANDSCAPE PLANS FOR OTHER PAVER PATTERNS AND DECORATIVE SCORING DETAILS.

LEGEND

- PROPERTY LINE
- EASEMENT
- FDP LIMITS
- INLET
- MANHOLE
- HYDRANT
- VALVE
- LIGHT POLE
- SIGN



**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT # 1 - PAVING AND LANDSCAPING**

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5	MYLARS	05-05-17

DESIGNED BY: JAB DATE: 05/05/17
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: FDP1-1_PARTIAL SITE_1.dwg



**PARTIAL SITE
 PLAN 1**

SHEET: **C1.1**



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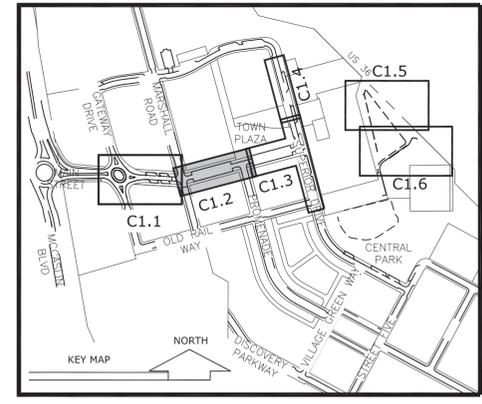
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 DRAWN BY: CAL SCALE: 1"=20'
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 DWG NAME: FDP1-1_PARTIAL SITE_1.dwg

PARTIAL SITE
 PLAN 2

SHEET:
C1.2



PAVEMENT AND SURFACING LEGEND

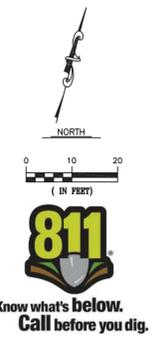
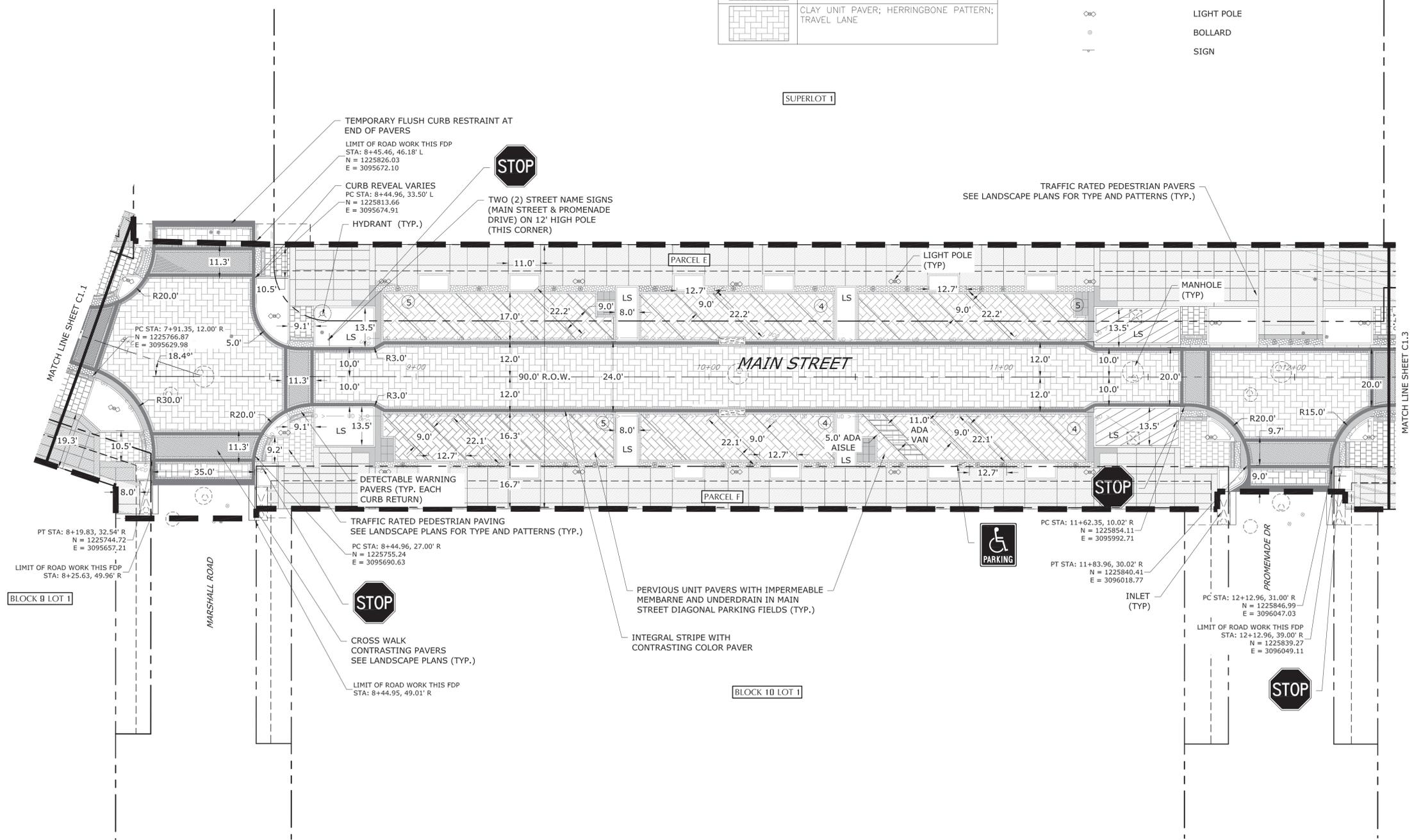
LS IMPROVED LANDSCAPE AREAS WITHIN HARDSCAPE
 NOTE: SEE PAVING PLANS AND LANDSCAPE PLANS FOR OTHER PAVEMENT PATTERNS AND DECORATIVE SCORING DETAILS.

LEGEND

- PROPERTY LINE
- - - EASEMENT
- FDP LIMITS
- ⊗ INLET
- ⊙ MANHOLE
- ⊕ HYDRANT
- ⊖ VALVE
- ⊙ LIGHT POLE
- ⊙ BOLLARD
- ⊙ SIGN

PAVING KEY	
SYMBOL	MATERIAL
	CLAY UNIT PAVER; HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE WITH INTEGRATED PARKING STRIPES
	CLAY UNIT PAVER, SOLDIER COURSE
	INTEGRAL COLORED CONCRETE BAND
	CLAY UNIT PAVER; HERRINGBONE PATTERN
	CLAY UNIT PAVER; DOUBLE SOLDIER COURSE
	CAST IRON TRUNCATED DOME PANEL
	SANDSTONE PAVER
	CONCRETE SIDEWALK (BROOM FINISH). CONCRETE HATCH IS ALSO SHOWN ON THE TRAVEL LANES / SOME PARKING.
	CONCRETE SIDEWALK (SAND WASHED FINISH)
	STREET NAME STAMPED INTO INTEGRAL COLORED CONCRETE BAND.
	EXISTING CROSSWALK CLAY UNIT PAVER
	CLAY UNIT PAVER; HERRINGBONE PATTERN; TRAVEL LANE

SUPERLOT 1



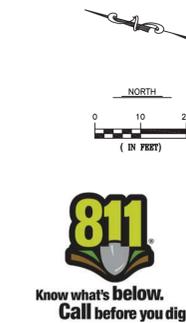
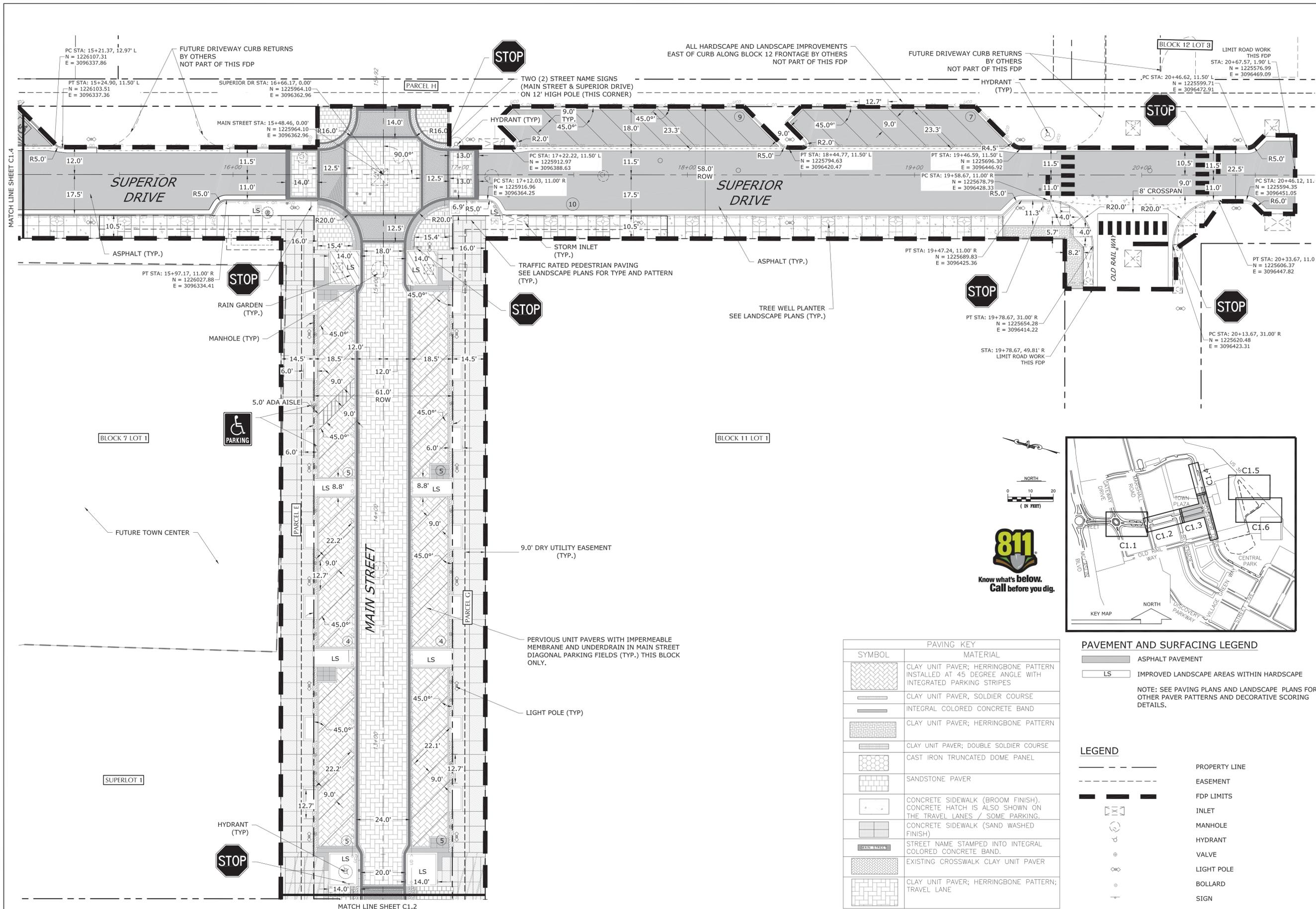
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SUPERIOR TOWN CENTER
FINAL DEVELOPMENT PLAN 1 - PHASE 1
AMENDMENT # 1 - PAVING AND LANDSCAPING

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: JAB DATE: 05/05/17
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 JOB NO.: 228-001-04
 DWG NAME: FDP1-1_PARTIAL SITE_1.dwg

PARTIAL SITE
PLAN 3
C1.3

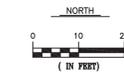
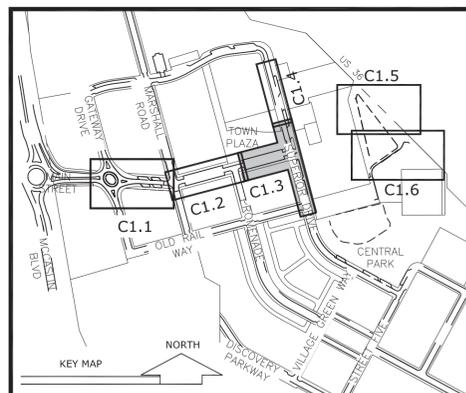


PAVING KEY	
SYMBOL	MATERIAL
	CLAY UNIT PAVER; HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE WITH INTEGRATED PARKING STRIPES
	CLAY UNIT PAVER, SOLDIER COURSE
	INTEGRAL COLORED CONCRETE BAND
	CLAY UNIT PAVER; HERRINGBONE PATTERN
	CLAY UNIT PAVER; DOUBLE SOLDIER COURSE
	CAST IRON TRUNCATED DOME PANEL
	SANDSTONE PAVER
	CONCRETE SIDEWALK (BROOM FINISH). CONCRETE HATCH IS ALSO SHOWN ON THE TRAVEL LANES / SOME PARKING.
	CONCRETE SIDEWALK (SAND WASHED FINISH)
	STREET NAME STAMPED INTO INTEGRAL COLORED CONCRETE BAND.
	EXISTING CROSSWALK CLAY UNIT PAVER
	CLAY UNIT PAVER; HERRINGBONE PATTERN; TRAVEL LANE

PAVEMENT AND SURFACING LEGEND	
	ASPHALT PAVEMENT
	IMPROVED LANDSCAPE AREAS WITHIN HARDSCAPE

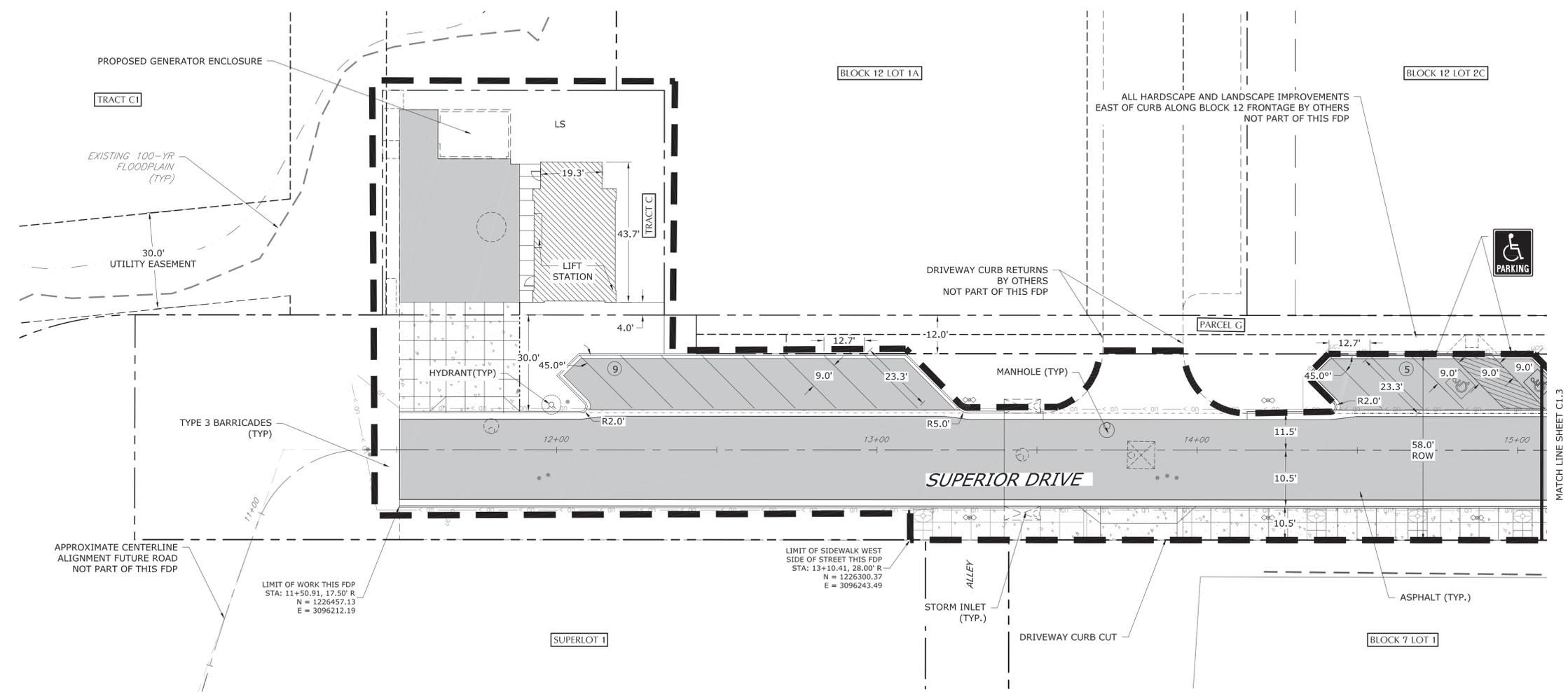
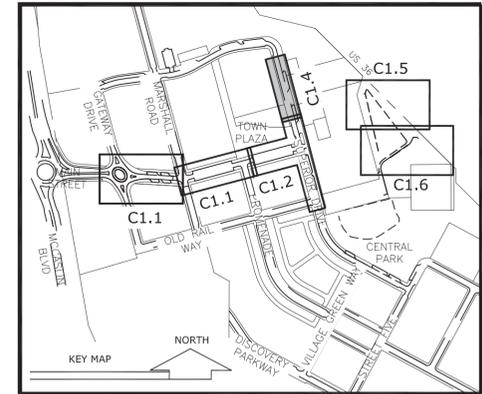
NOTE: SEE PAVING PLANS AND LANDSCAPE PLANS FOR OTHER PAVER PATTERNS AND DECORATIVE SCORING DETAILS.

LEGEND	
	PROPERTY LINE
	EASEMENT
	FDP LIMITS
	INLET
	MANHOLE
	HYDRANT
	VALVE
	LIGHT POLE
	BOLLARD
	SIGN





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SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT # 1 - PAVING AND LANDSCAPING

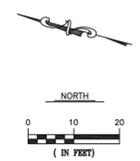
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

LEGEND

- PROPERTY LINE
- EASEMENT
- FDP LIMITS
- INLET
- MANHOLE
- HYDRANT
- VALVE
- LIGHT POLE
- SIGN

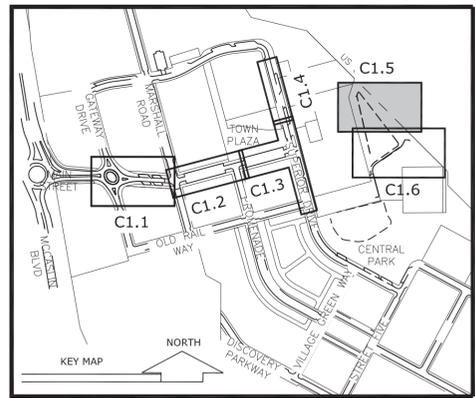
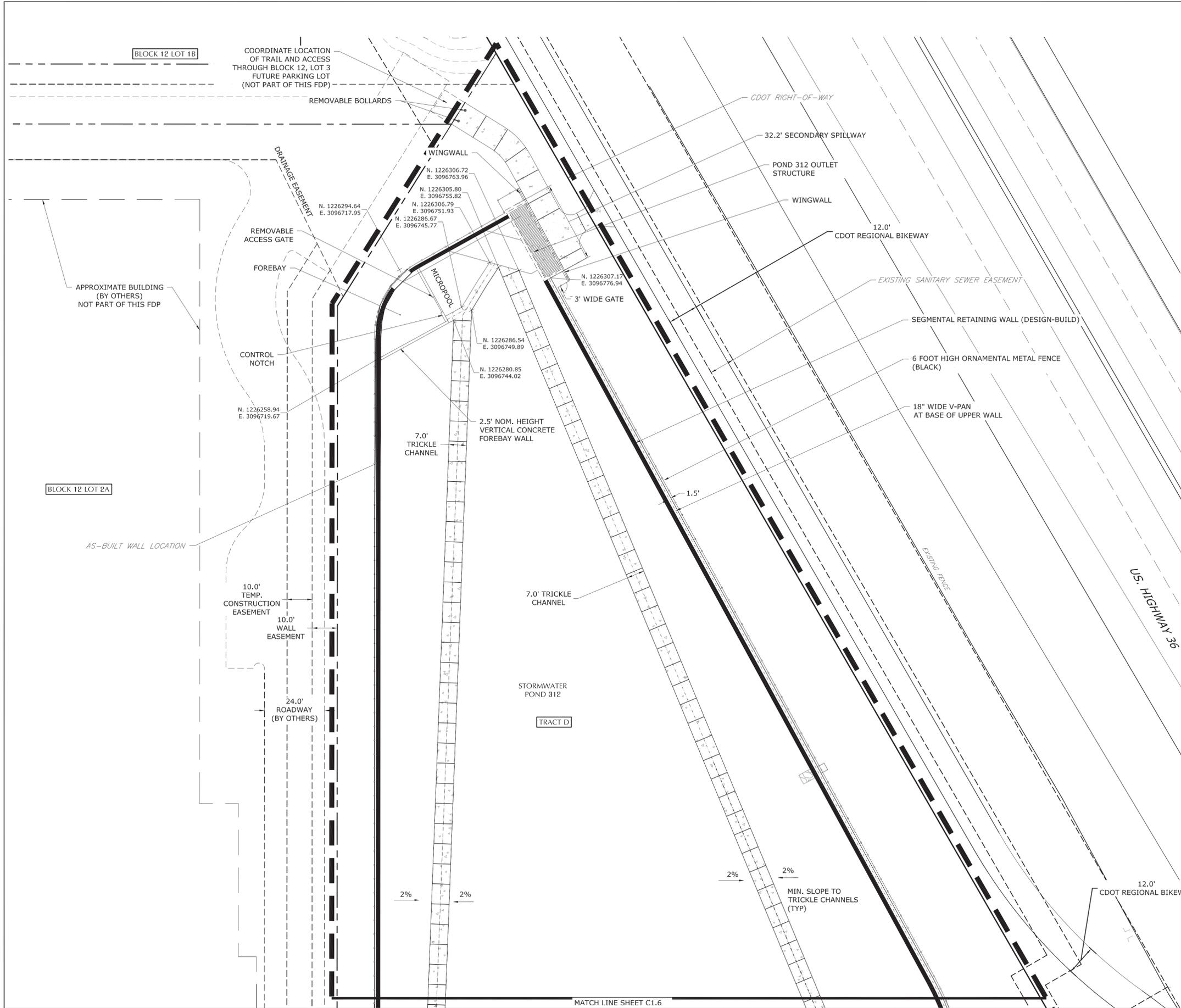
PAVEMENT AND SURFACING LEGEND

- ASPHALT PAVEMENT
 - CONCRETE
 - IMPROVED LANDSCAPE AREAS WITHIN HARDSCAPE
- NOTE: SEE PAVING PLANS AND LANDSCAPE PLANS FOR OTHER PAVEMENT PATTERNS AND DECORATIVE SCORING DETAILS.



PARTIAL SITE PLAN 4

SHEET: **C1.4**



PAVEMENT AND SURFACING LEGEND

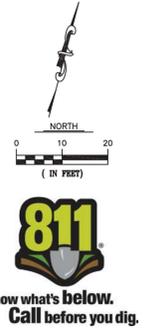
- CONCRETE
 - IMPROVED LANDSCAPE AREAS WITHIN HARDSCAPE
 - NOTE: SEE PAVING PLANS AND LANDSCAPE PLANS FOR OTHER PAVER PATTERNS AND DECORATIVE SCORING DETAILS.
- LEGEND**
- PROPERTY LINE
 - EASEMENT
 - FDP LIMITS

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**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT # 1 - PAVING AND LANDSCAPING**

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: JAB DATE: 05/05/17
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: FDP1-1_PARTIAL SITE_1.dwg

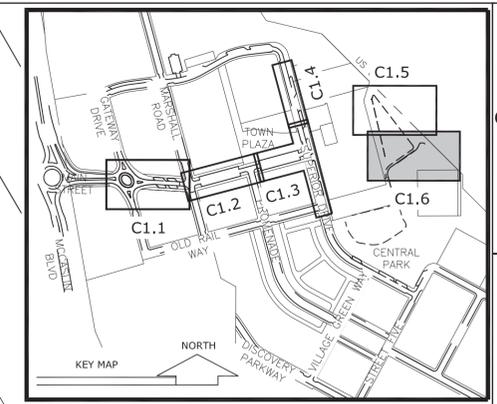


**PARTIAL SITE
 PLAN 5**

SHEET:
C1.5



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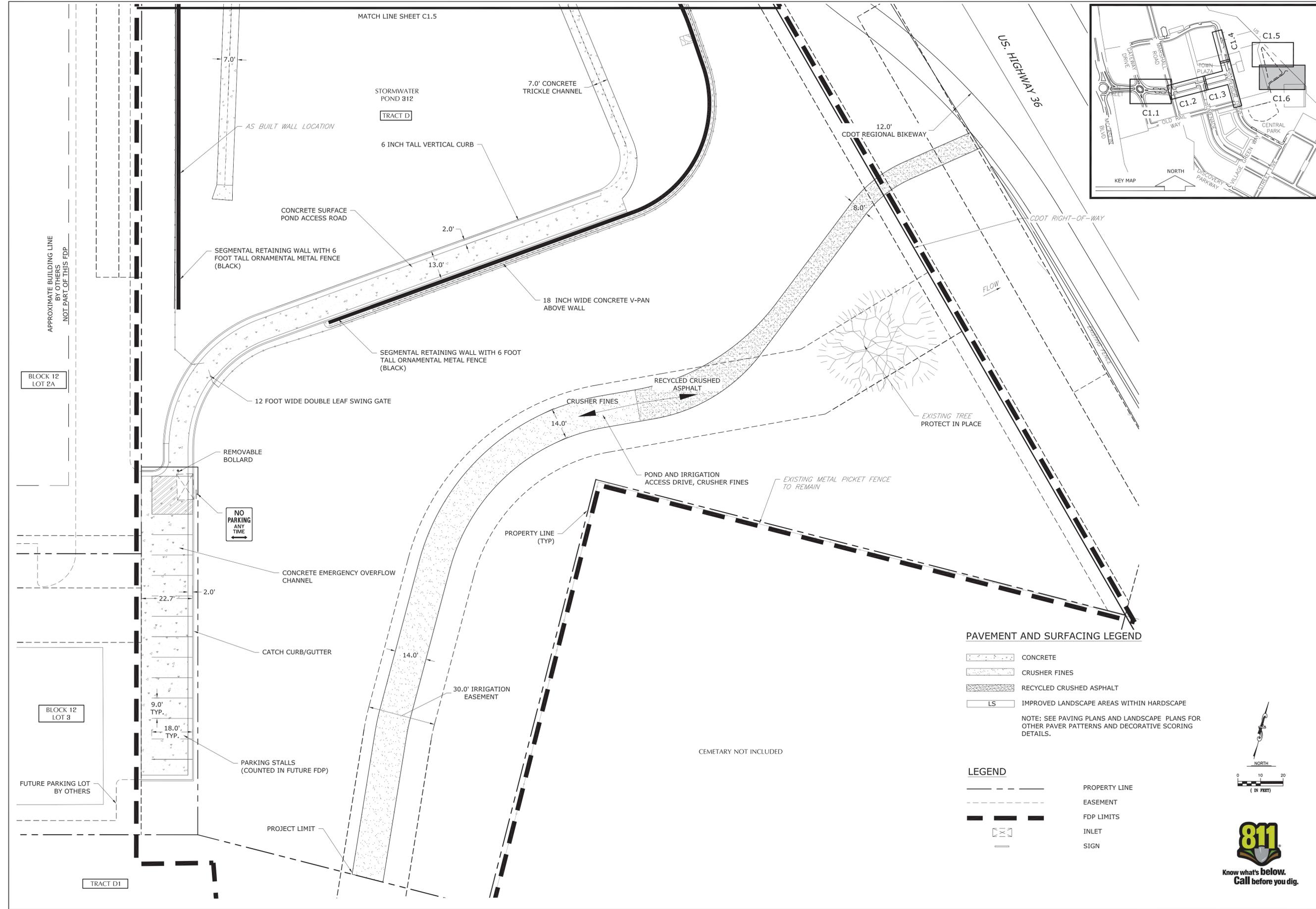
SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT # 1 - PAVING AND LANDSCAPING

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: JAB DATE: 05/05/17
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: FDP1-1_PARTIAL SITE_1.dwg

PARTIAL SITE
 PLAN 6

SHEET:
C1.6



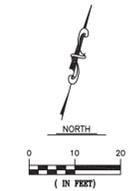
PAVEMENT AND SURFACING LEGEND

- CONCRETE
- CRUSHER FINES
- RECYCLED CRUSHED ASPHALT
- LS IMPROVED LANDSCAPE AREAS WITHIN HARDSCAPE

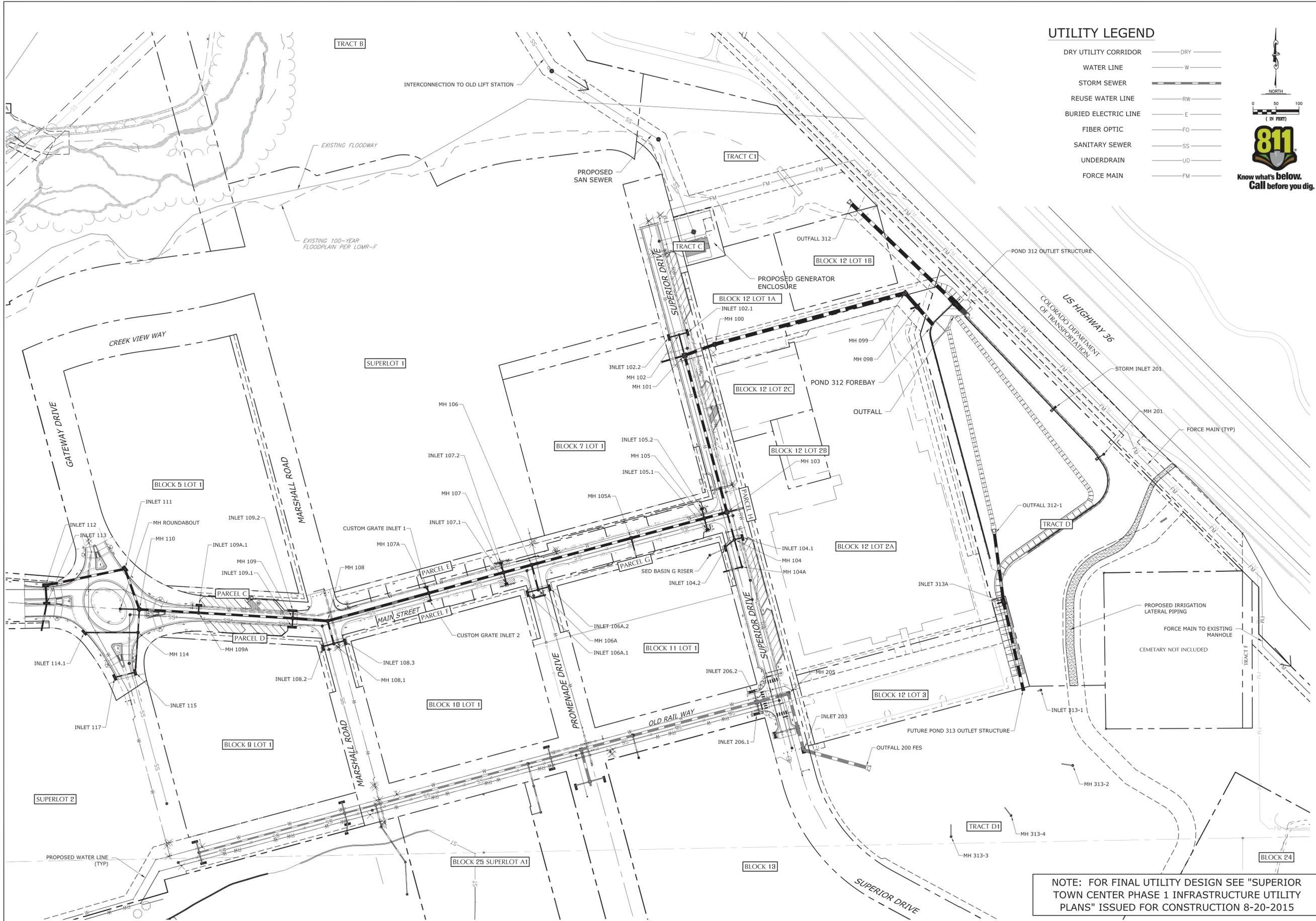
NOTE: SEE PAVING PLANS AND LANDSCAPE PLANS FOR OTHER PAVEMENT PATTERNS AND DECORATIVE SCORING DETAILS.

LEGEND

- PROPERTY LINE
- EASEMENT
- FDP LIMITS
- INLET
- SIGN

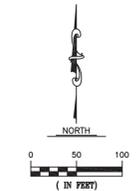


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 JAB
 17/05/17 10:00 AM
 CAL
 17/05/17 10:00 AM
 JAB
 17/05/17 10:00 AM
 JAB
 17/05/17 10:00 AM
 JAB



UTILITY LEGEND

- DRY UTILITY CORRIDOR ——— DRY
- WATER LINE ——— W
- STORM SEWER ——— SS
- REUSE WATER LINE ——— RW
- BURIED ELECTRIC LINE ——— E
- FIBER OPTIC ——— FO
- SANITARY SEWER ——— SS
- UNDERDRAIN ——— UD
- FORCE MAIN ——— FM



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**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT # 1 - PAVING AND LANDSCAPING**

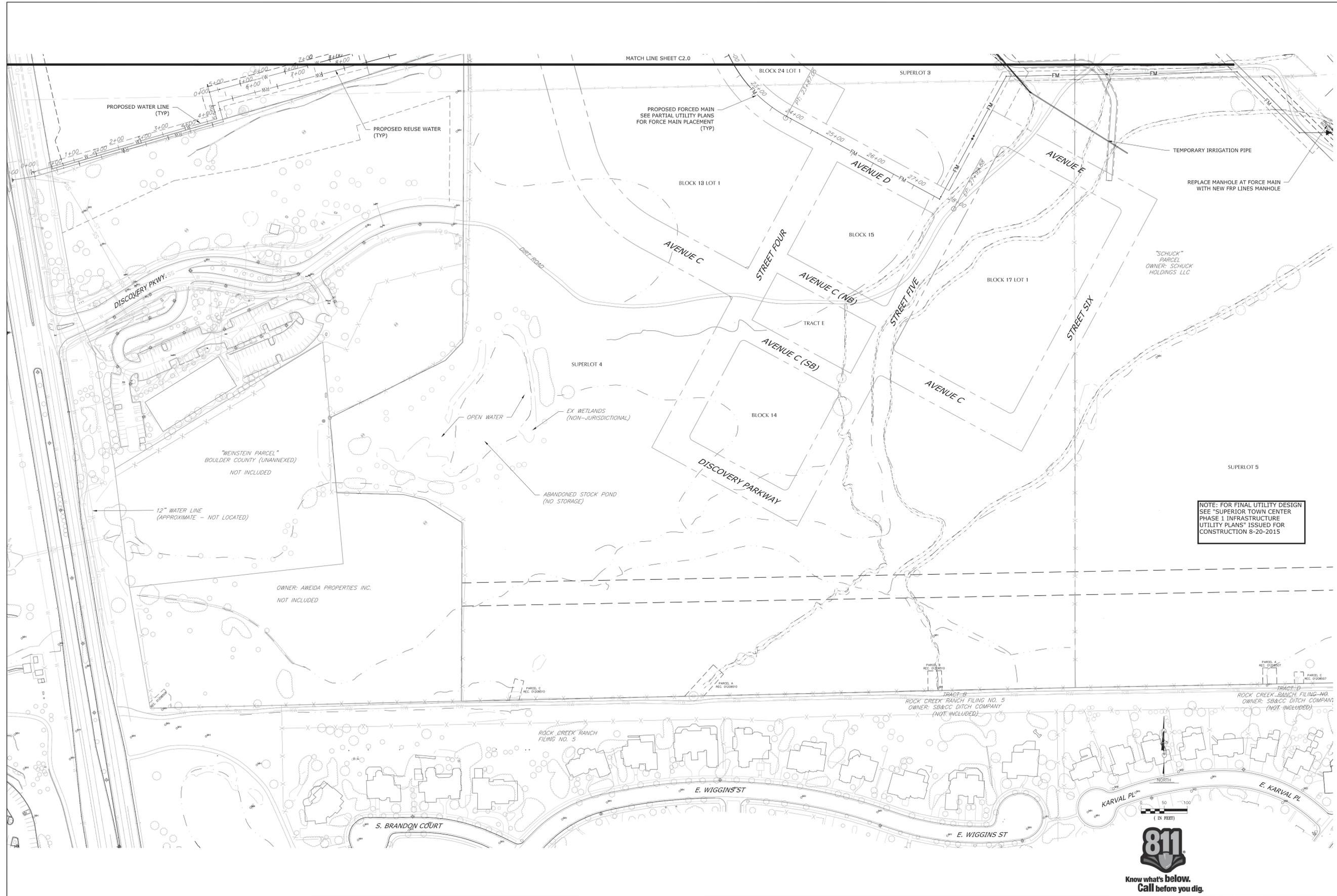
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: JAB DATE: 05/05/17
 DRAWN BY: CAL SCALE: 1"=80'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: FDP1-1_OUP 2.dwg

NOTE: FOR FINAL UTILITY DESIGN SEE "SUPERIOR TOWN CENTER PHASE 1 INFRASTRUCTURE UTILITY PLANS" ISSUED FOR CONSTRUCTION 8-20-2015

OVERALL UTILITY PLAN

SHEET: **C2.0**



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**RC SUPERIOR
 METRO DISTRICT**
 12275 EL CAMINO REAL, SUITE 100
 SAN DIEGO, CA 92130

**SUPERIOR TOWN CENTER
 PHASE 1
 FINAL DEVELOPMENT PLAN # 1**

NOTE: FOR FINAL UTILITY DESIGN
 SEE "SUPERIOR TOWN CENTER
 PHASE 1 INFRASTRUCTURE
 UTILITY PLANS" ISSUED FOR
 CONSTRUCTION 8-20-2015

REVISIONS		
NO.	DESCRIPTION	DATE
1	GENERAL REVISIONS	10/29/13
2	GENERAL REVISIONS	11/19/13
3	GENERAL REVISIONS	12/04/13
4	GENERAL REVISIONS	01/16/14
5	TOWN COMMENTS	02/12/14
6	MYLAR REVIEW	05/05/17

DESIGNED BY: JAB DATE: 10/17/13
 DRAWN BY: CAL SCALE: 1"=100'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: FDP1_OUP_2.DWG

**OVERALL
 UTILITY
 PLAN 2**

SHEET:
C2.1





LEGEND:

- LIMIT OF GRADING
- EXISTING EASEMENT
- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- PROPOSED MAJOR CONTOURS

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 METRO DISTRICT
 12275 EL CAMINO REAL, SUITE 100
 SAN DIEGO, CA 92130

**SUPERIOR TOWN CENTER
 PHASE 1
 FINAL DEVELOPMENT PLAN # 1**

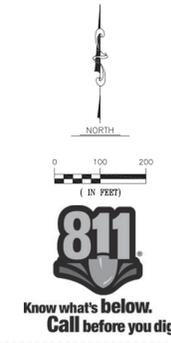
NOTE: FOR FINAL GRADING DESIGN SEE -
 "OVERLOT GRADING AND STORMWATER MANAGEMENT PLANS -
 SUPERIOR TOWN CENTER PHASE 1" ISSUED FOR CONSTRUCTION
 12/02/2013.
 "OVERLOT GRADING AND STORMWATER MANAGEMENT PLANS -
 SUPERIOR TOWN CENTER PHASE 1b" ISSUED FOR CONSTRUCTION
 05/22/2015.
 "OVERLOT GRADING AND STORMWATER MANAGEMENT PLANS -
 SUPERIOR TOWN CENTER PHASE BLOCK 26/BUFFER" ISSUED FOR
 CONSTRUCTION 04/01/2016.

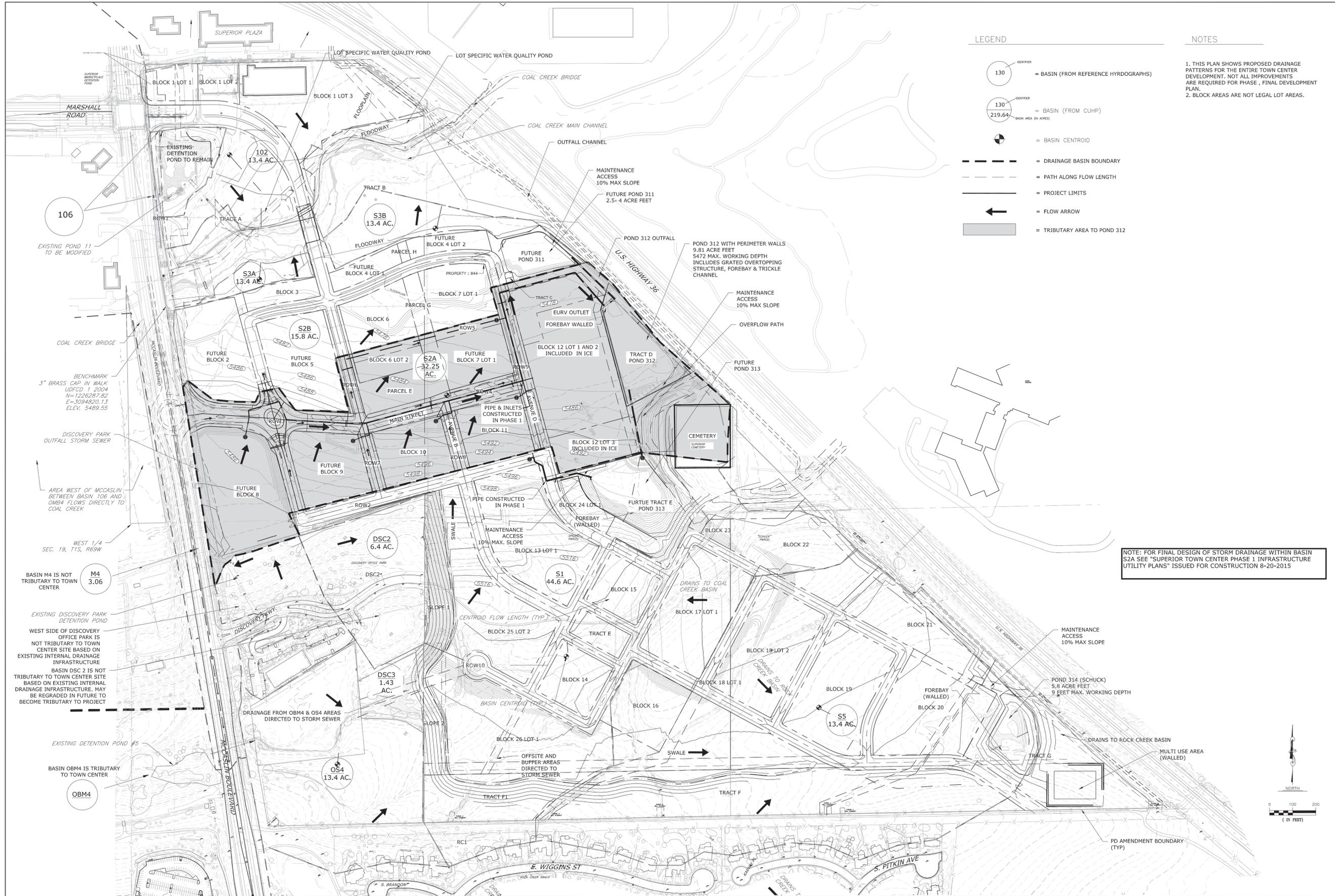
REVISIONS		
NO.	DESCRIPTION	DATE
1	GENERAL REVISIONS	10/29/13
2	GENERAL REVISIONS	11/19/13
3	GENERAL REVISIONS	12/04/13
4	GENERAL REVISIONS	01/16/14
5	TOWN COMMENTS	02/12/14
6	MYLAR REVIEW	05/06/17

DESIGNED BY: JAB DATE: 10/17/2013
 DRAWN BY: CAL SCALE: 1"=200'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: FDP1_OGP.DWG

**OVERALL GRADING
 PLAN**

SHEET:
C3.0





LEGEND

- = BASIN (FROM REFERENCE HYDROGRAPHS)
- = BASIN (FROM CUHP)
- = BASIN CENTROID
- = DRAINAGE BASIN BOUNDARY
- = PATH ALONG FLOW LENGTH
- = PROJECT LIMITS
- = FLOW ARROW
- = TRIBUTARY AREA TO POND 312

NOTES

1. THIS PLAN SHOWS PROPOSED DRAINAGE PATTERNS FOR THE ENTIRE TOWN CENTER DEVELOPMENT. NOT ALL IMPROVEMENTS ARE REQUIRED FOR PHASE 1, FINAL DEVELOPMENT PLAN.
2. BLOCK AREAS ARE NOT LEGAL LOT AREAS.

NOTE: FOR FINAL DESIGN OF STORM DRAINAGE WITHIN BASIN S2A SEE "SUPERIOR TOWN CENTER PHASE 1 INFRASTRUCTURE UTILITY PLANS" ISSUED FOR CONSTRUCTION 8-20-2015



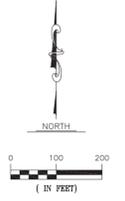
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 12275 EL CAMINO REAL, SUITE 100
 SAN DIEGO, CA 92130

**SUPERIOR TOWN CENTER
 PHASE 1
 FINAL DEVELOPMENT PLAN #1
 PAVING AND LANDSCAPE AMENDMENT**

REVISIONS		
NO.	DESCRIPTION	DATE
1	GENERAL REVISIONS	10/20/13
2	GENERAL REVISIONS	11/19/13
3	GENERAL REVISIONS	12/04/13
4	GENERAL REVISIONS	01/16/14
5	TOWN COMMENTS	02/12/14
6	MYLAR REVIEW	05/05/17

DESIGNED BY: JAB DATE: 10/17/13
 DRAWN BY: CAL SCALE: 1"=200'
 CHECKED BY: JAB
 JOB NO.: 228.001.04
 DWG NAME: BASIN MAP PHASE 1 2_AROD.DWG



OVERALL DRAINAGE PLAN

SHEET:
C4.0



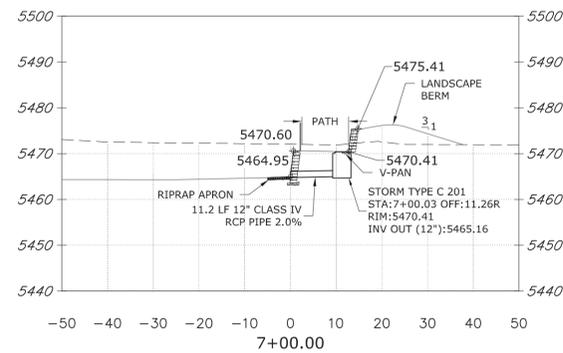
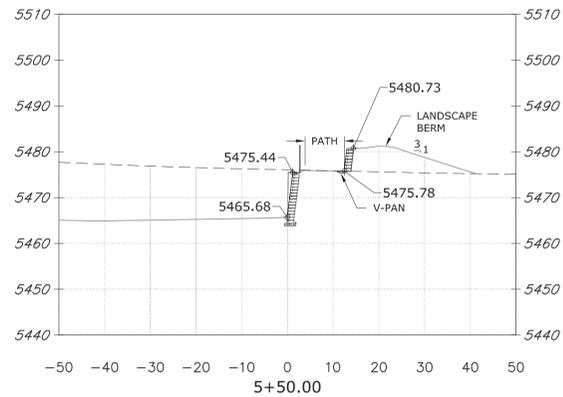
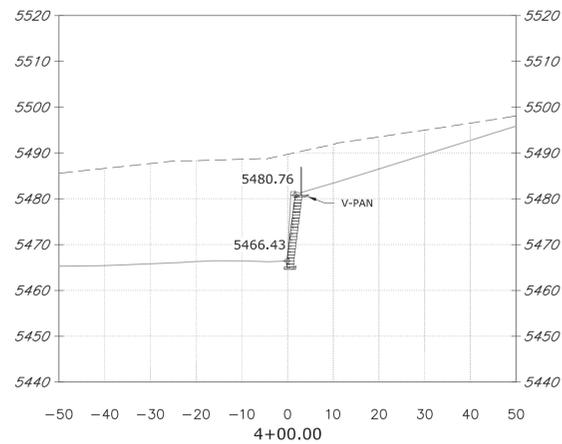
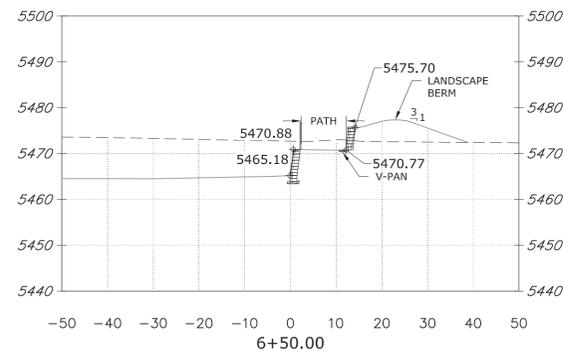
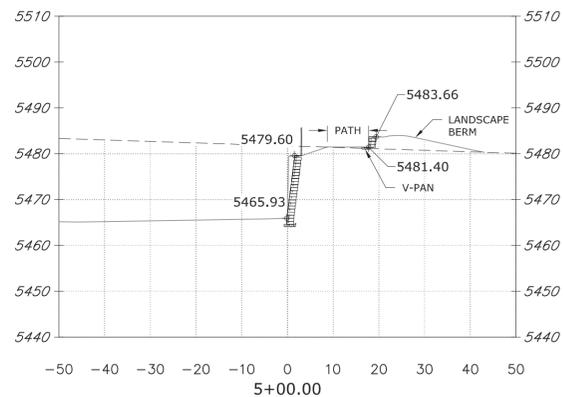
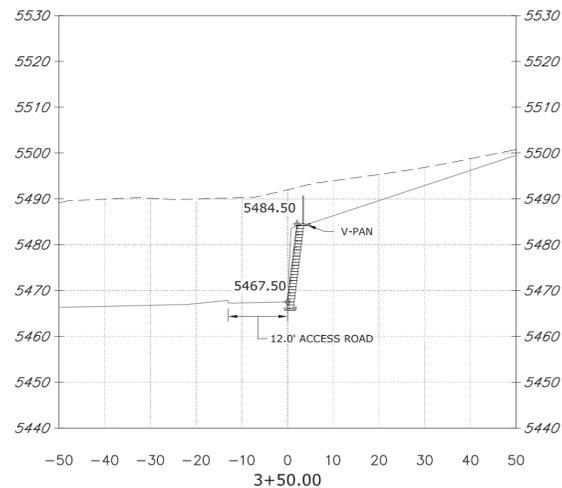
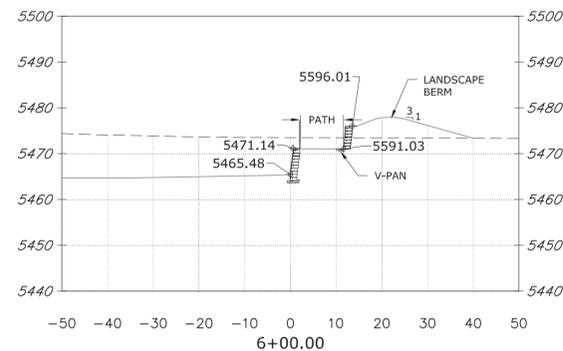
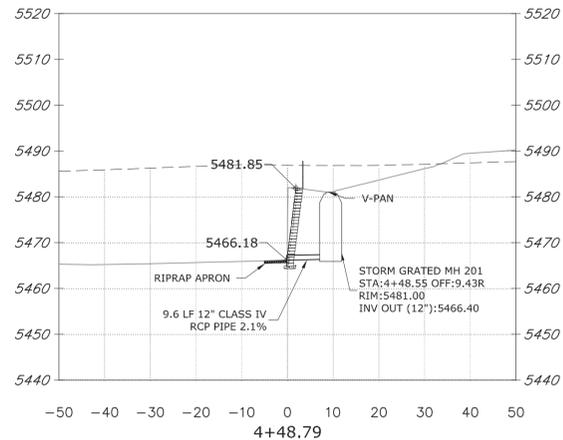
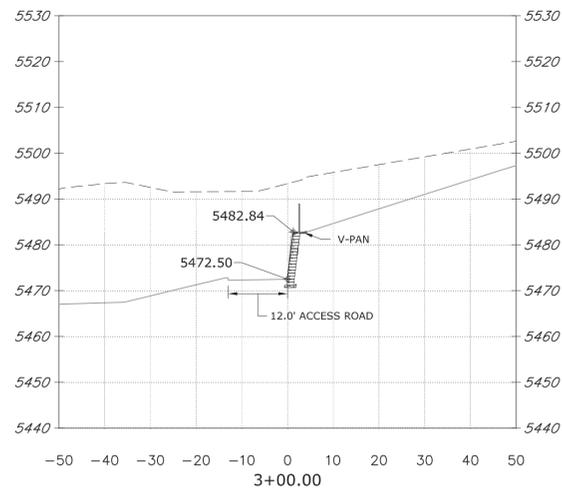
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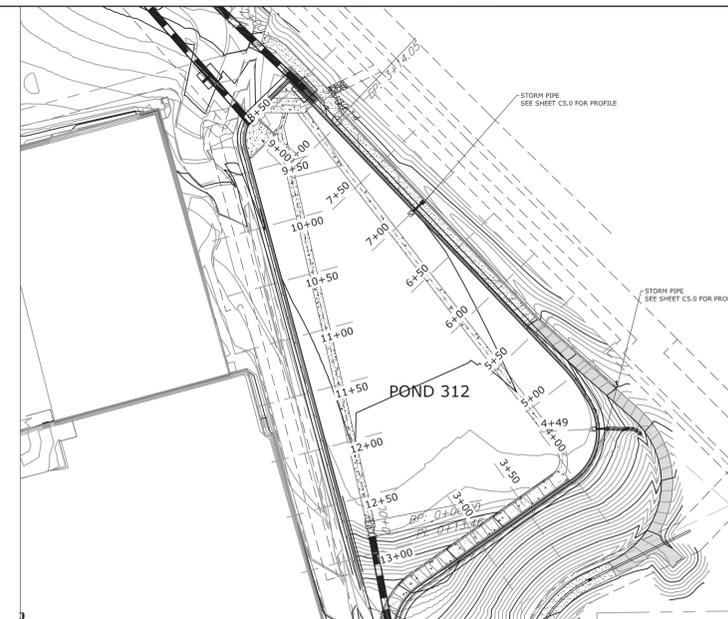
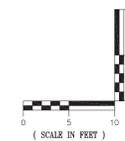
RC SUPERIOR
METRO DISTRICT

12275 EL CAMINO REAL, SUITE 100
SAN DIEGO, CA 92130

SUPERIOR TOWN CENTER
PHASE 1
FINAL DEVELOPMENT PLAN #1
PAVING AND LANDSCAPE AMENDMENT

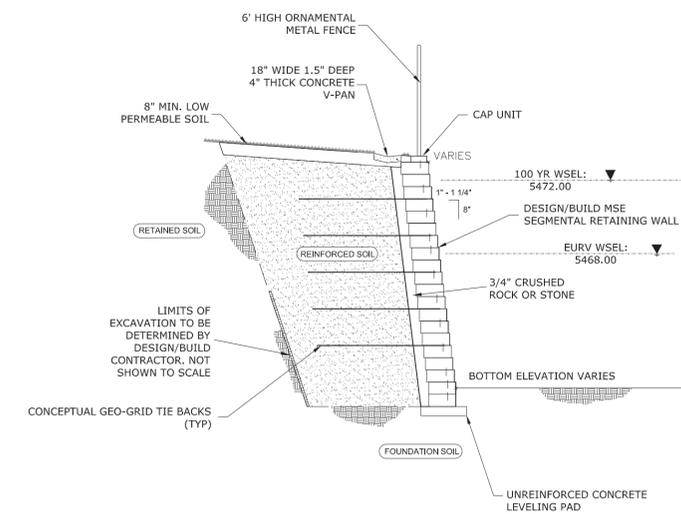


SECTION VIEWS



NOTES:

- SEE SHEET PLAN AND PROFILE SHEETS FOR STATION CONTROL INFORMATION.
- MODULAR RETAINING WALL SYSTEM SHALL BE DESIGN-BUILD. DESIGN BUILD CONTRACTOR SHALL DETERMINE LENGTH AND NUMBER OF GRIDS, EMBEDMENT DEPTH, REINFORCES SOIL DRAINAGE MATERIAL, BACKFILL MATERIAL, AND ALL OTHER DETAILS NECESSARY TO CONSTRUCT WALL.
- NUMBER OF BLOCKS DEPICTED ON SECTIONS ARE INTENDED TO SHOW CONCEPTUAL WALL HEIGHTS. ACTUAL NUMBER OF COURSES SHALL BE PROVIDED TO OBTAIN DESIRED WALL HEIGHT.
- TOP OF WALL ELEVATIONS INDICATED MAY BE ADJUSTED UP OR DOWN 1/2 OF A TYPICAL BLOCK THICKNESS TO PROVIDE FULL COURSES.
- GROUT MINIMUM TOP THREE COURSES OF WALL BLOCKS AND CORE DRILL FOR FENCE POSTS AFTER CONSTRUCTION OF WALL. FENCE TO BE EMBEDDED IN TOP COURSES OF WALL.



TYPICAL MODULAR WALL SECTION
NOT TO SCALE

NOTE: FOR FINAL DESIGN OF WALLS SEE - "SUPERIOR TOWN CENTER DETENTION BASIN" DESIGN/BUILD SHOP DRAWINGS PREPARED BY YENTER COMPANIES, DECEMBER 16, 2015

REVISIONS		
NO.	DESCRIPTION	DATE
1	GENERAL REVISIONS	10/20/13
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3	GENERAL REVISIONS	12/04/13
4	GENERAL REVISIONS	01/16/14
5	TOWN COMMENTS	02/12/14
6	MYLAR REVIEW	04/10/17

DESIGNED BY: JAB DATE: Feb. 19, 14
 DRAWN BY: CAL SCALE: NOTED
 CHECKED BY: JAB NOTED
 JOB NO.: 228.001.04
 DWG NAME: FDP1_WALLS.DWG

WALL
SECTIONS
1

C5.0



CIVIL RESOURCES, LLC

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METRO DISTRICT

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SAN DIEGO, CA 92130

SUPERIOR TOWN CENTER
PHASE 1

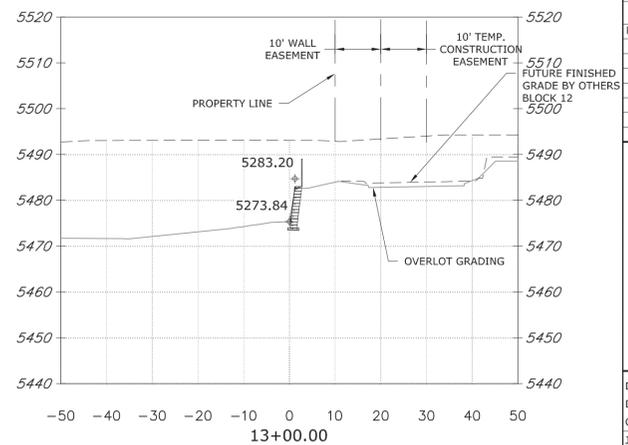
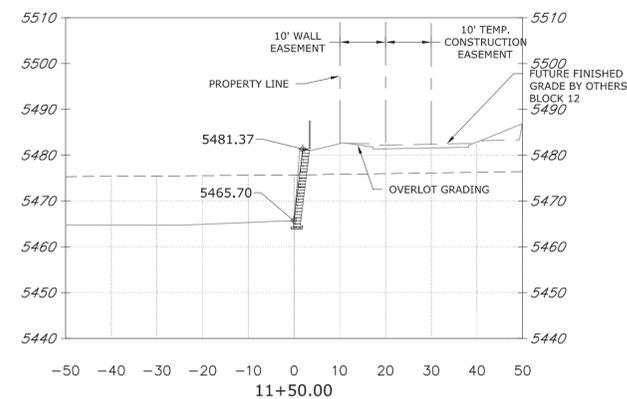
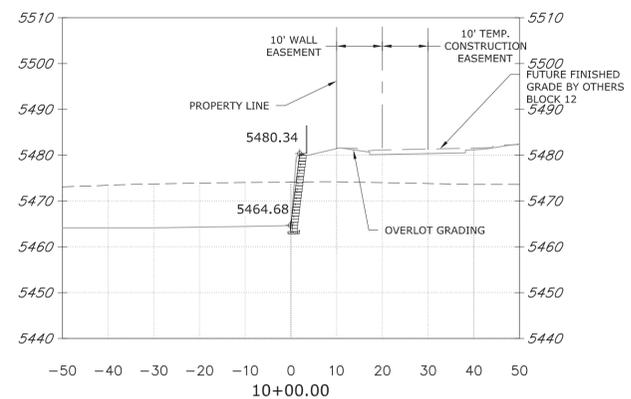
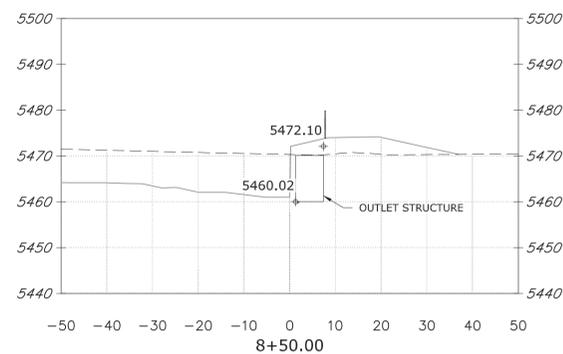
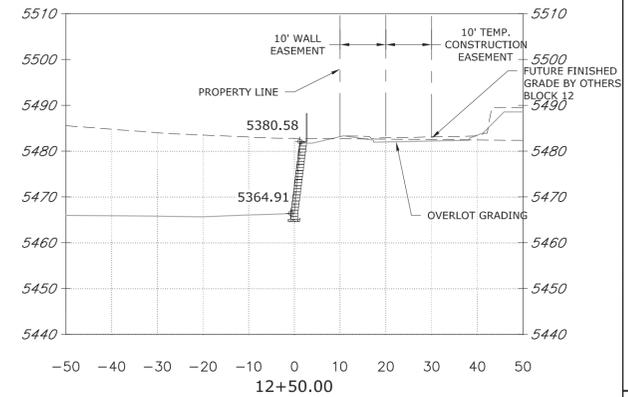
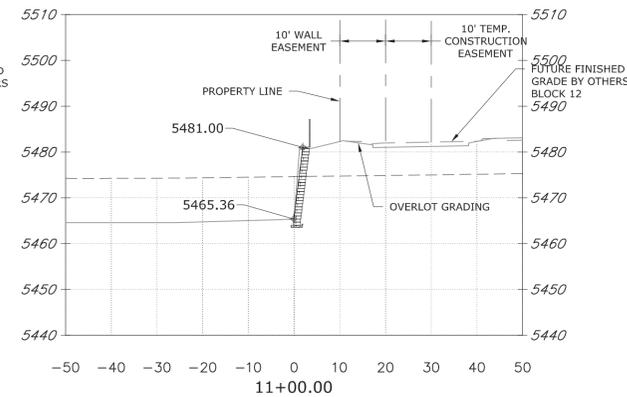
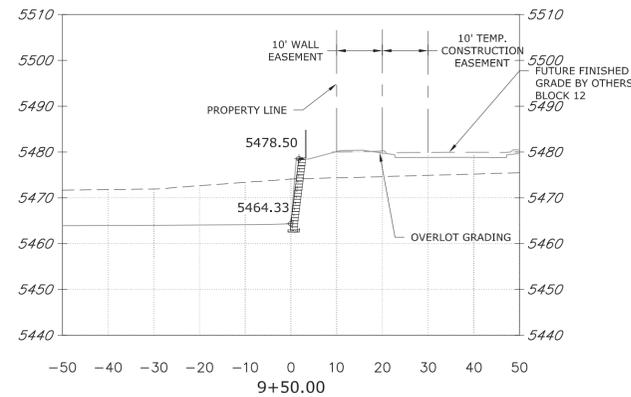
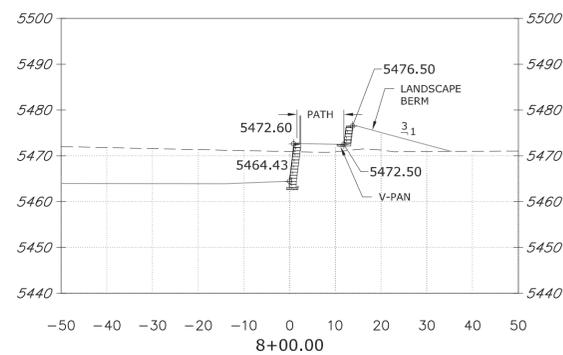
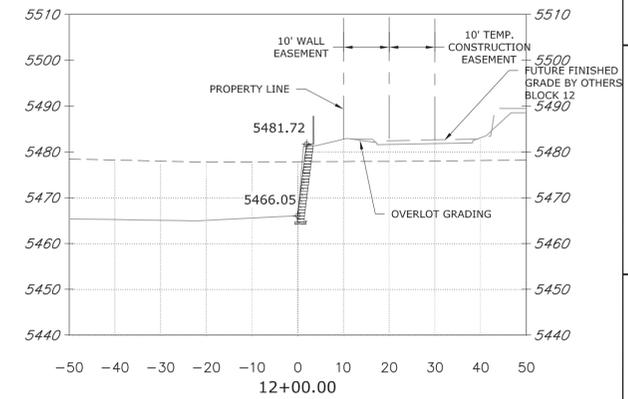
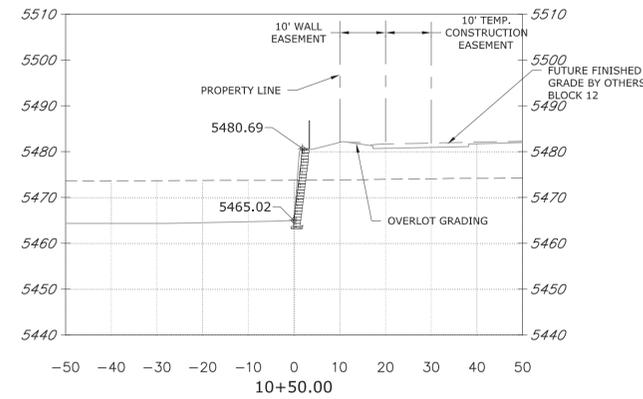
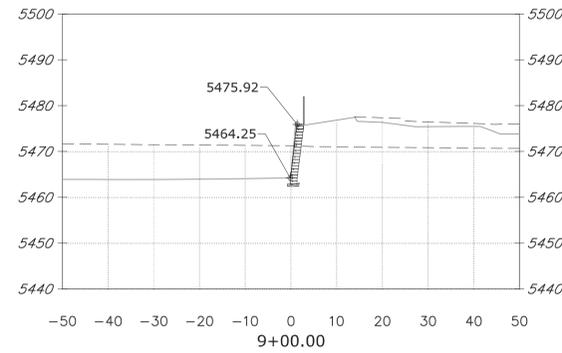
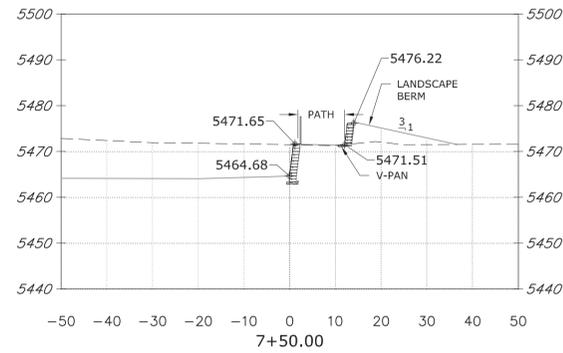
FINAL DEVELOPMENT PLAN #1
PAVING AND LANDSCAPE AMENDMENT

REVISIONS		
NO.	DESCRIPTION	DATE
1	GENERAL REVISIONS	10/20/13
2	GENERAL REVISIONS	11/19/13
3	GENERAL REVISIONS	12/04/13
4	GENERAL REVISIONS	01/16/14
5	TOWN COMMENTS	02/12/14
6	MYLAR REVIEW	05/05/17

DESIGNED BY: JAB DATE: Feb. 19, 14
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB 1"=20'
 JOB NO.: 228.001.04
 DWG NAME: FDP1_WALLS.DWG

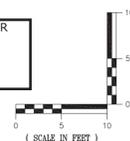
WALL
SECTIONS
2

C5.1



SECTION VIEWS

NOTE: FOR FINAL DESIGN OF WALLS SEE "SUPERIOR TOWN CENTER
DETENTION BASIN" DESIGN/BUILD SHOP DRAWINGS PREPARED BY
YENTER COMPANIES, DECEMBER 16, 2015





CIVIL RESOURCES, LLC

323 5th STREET
P.O. Box 680
FREDERICK, CO 90530
303.833.1416 (p)
303.833.2850 (f)
WWW.CIVILRESOURCES.COM

RC SUPERIOR
METRO DISTRICT

12275 EL CAMINO REAL, SUITE 100
SAN DIEGO, CA 92130

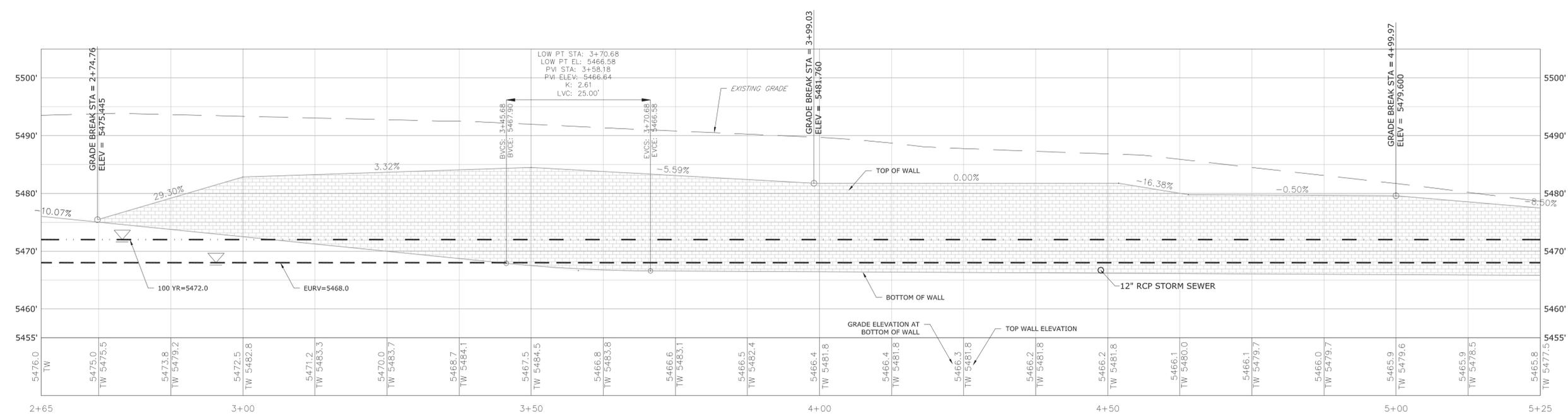
SUPERIOR TOWN CENTER
PHASE 1
FINAL DEVELOPMENT PLAN #1
PAVING AND LANDSCAPE AMENDMENT

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NO.	DESCRIPTION	DATE
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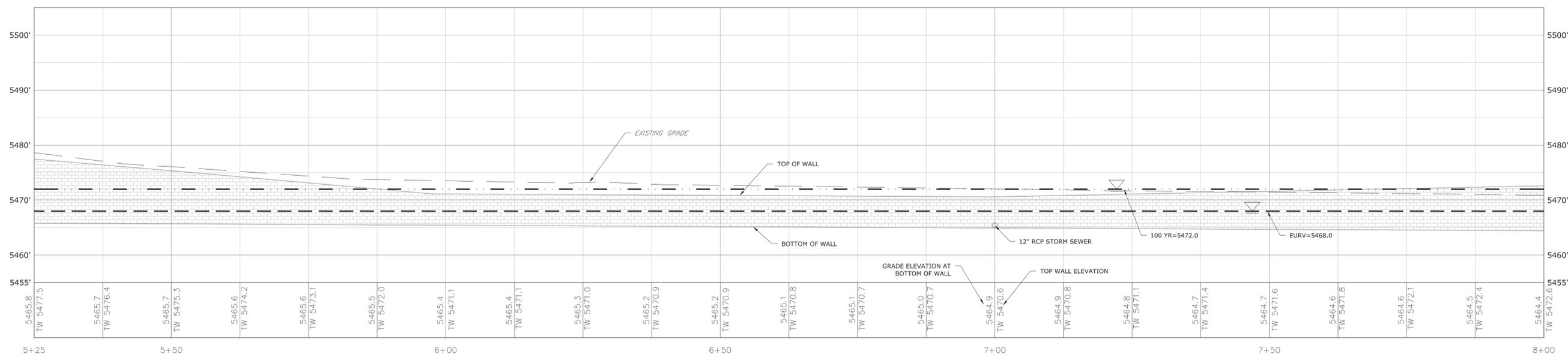
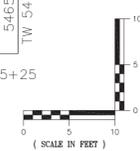
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 CHECKED BY: JAB 1"=10'
 JOB NO.: 228.001.04
 DWG NAME: FDP1_WALL_PROF.DWG

WALL
PROFILE 1

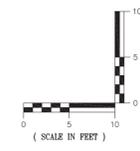
C5.2



POND 312 WALL PROFILE: STA 2+65 TO 5+25



POND 312 WALL PROFILE: STA 5+25 TO 8+00



NOTE:
 1. PROFILE VIEW IS REFLECTED, FACING TO INSIDE OF POND.
 2. BLOCK HATCHING DOES NOT REFLECT ACTUAL NUMBER OF COURSES OR PATTERNS.

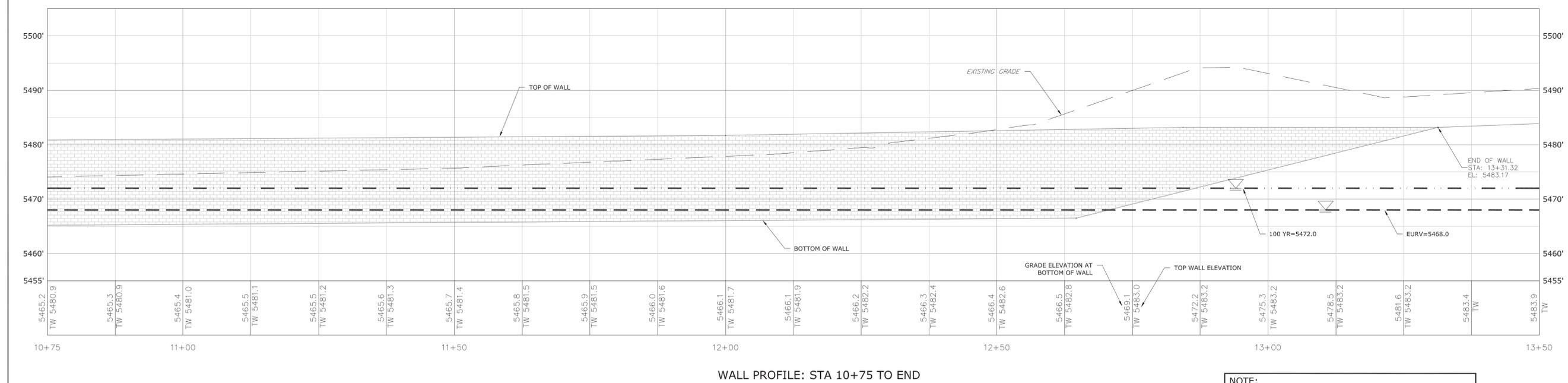
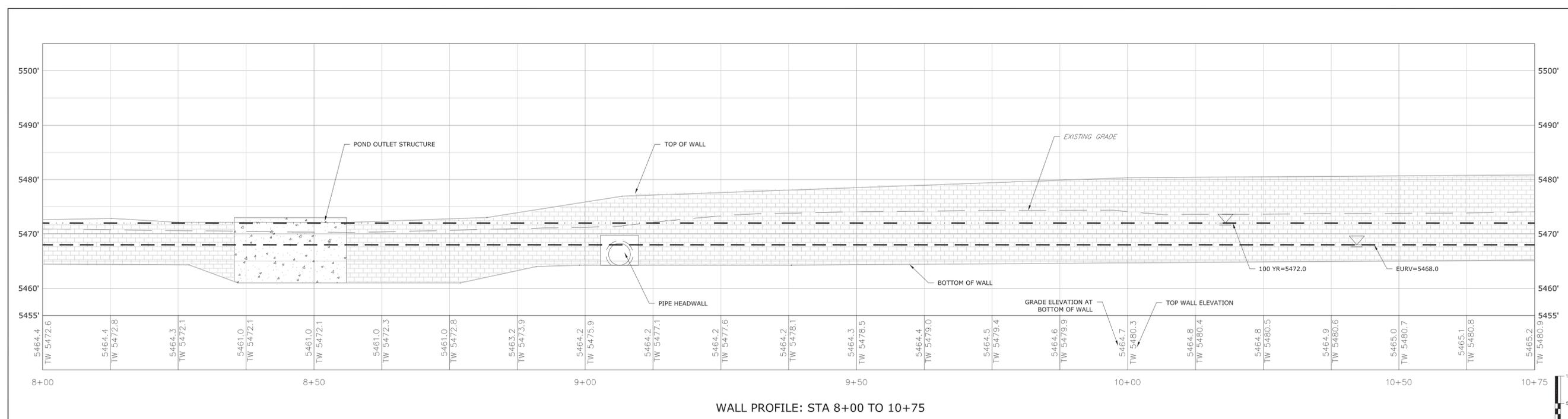
NOTE: FOR FINAL DESIGN OF WALLS SEE - "SUPERIOR TOWN CENTER DETENTION BASIN" DESIGN/BUILD SHOP DRAWINGS PREPARED BY YENTER COMPANIES, DECEMBER 16, 2015

SUPERIOR TOWN CENTER
 PHASE 1
 FINAL DEVELOPMENT PLAN #1
 PAVING AND LANDSCAPE AMENDMENT

REVISIONS		
NO.	DESCRIPTION	DATE
1	GENERAL REVISIONS	10/29/13
2	GENERAL REVISIONS	11/19/13
3	GENERAL REVISIONS	12/04/13
4	GENERAL REVISIONS	01/16/14
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6	MYLAR REVIEW	05/05/17

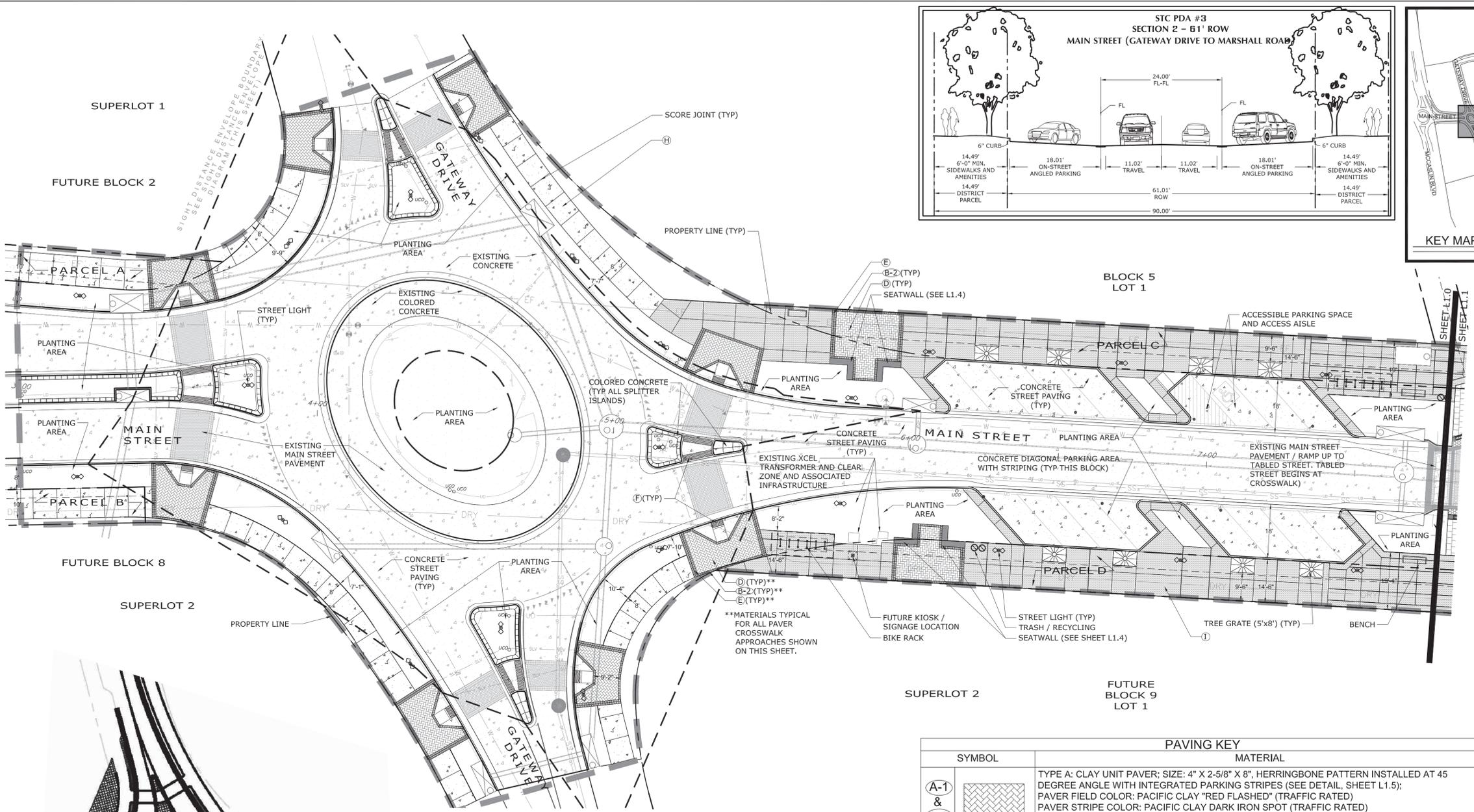
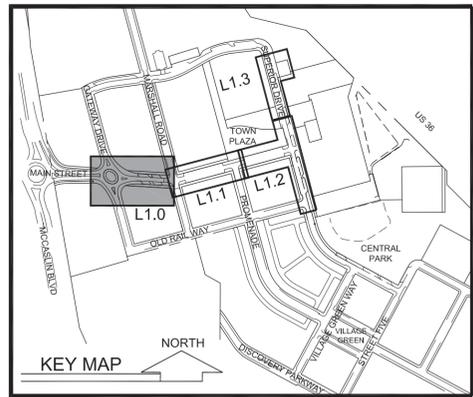
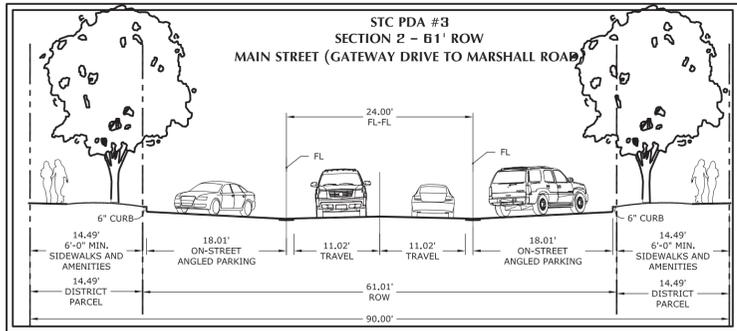
DESIGNED BY: JAB DATE: Feb. 13, 14
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB 1"=20'
 JOB NO.: 228.001.04
 DWG NAME: FDP1_WALL_PROF.DWG

WALL
 PROFILE 2
 C5.3



NOTE: FOR FINAL DESIGN OF WALLS SEE - "SUPERIOR TOWN CENTER DETENTION BASIN" DESIGN/BUILD SHOP DRAWINGS PREPARED BY YENTER COMPANIES, DECEMBER 16, 2015

- NOTE:
1. PROFILE VIEW IS REFLECTED, FACING TO INSIDE OF POND.
 2. BLOCK HATCHING DOES NOT REFLECT ACTUAL NUMBER OF COURSES OR PATTERNS.



LINETYPE LEGEND

	PROJECT BOUNDARY
	PROPERTY LINE

SYMBOL LEGEND

	PLANTER CURB (6" HT. /CONCRETE; SEE PLANTING PLANS FOR LOCATION OF PLANTS)
	RAIN GARDEN WITH 6" HT. CONCRETE CURB (GRADE SLOPES TO ALLOW DRAINAGE IN CENTER)
	BOLLARD
	TREE GRATE (5' X 8') TREE GRATE (4' X 6')
	SEAT WALL (18" HT.)

SITE FURNITURE:

	TRASH / RECYCLE
	BENCH
	BICYCLE RACKS

INFRASTRUCTURE LEGEND*

	LIGHT POLE
	DRY UTILITY CORRIDOR
	ELECTRIC LINE
	UNDERDRAIN
	SLEEVING
	WATER LINE
	SANITARY SEWER / MANHOLE
	STORM SEWER
	STORM INLET
	SIGN
	UNDERDRAIN CLEANOUT
	RAIN GARDEN INLET
	BARRICADE

*INFRASTRUCTURE PER CIVIL SHEETS OR EXISTING CONDITIONS.

PAVING KEY

SYMBOL	MATERIAL
(A-1) & (A-2)	TYPE A: CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8", HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE WITH INTEGRATED PARKING STRIPES (SEE DETAIL, SHEET L1.5); PAVER FIELD COLOR: PACIFIC CLAY "RED FLASHED" (TRAFFIC RATED) PAVER STRIPE COLOR: PACIFIC CLAY DARK IRON SPOT (TRAFFIC RATED) TYPE "A-1" = NON-PERMEABLE TYPE "A-2" = PERMEABLE
(B-1) & (B-2)	TYPE B: CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8"; SOLDIER COURSE; COLOR: PACIFIC CLAY DARK IRON SPOT (TRAFFIC RATED) TYPE "B-1" = TRAFFIC RATED; SIZE: 4" X 2-5/8" X 8" (INCLUDES EXISTING ROAD PAVERS) TYPE "B-2" = PEDESTRIAN; SIZE: 4" X 2-1/4" X 8"
(C)	TYPE C: INTEGRAL COLORED CONCRETE BAND (DAVIS COLOR "GRAPHITE" OR SIMILAR)
(D)	TYPE D: CLAY UNIT PAVER; SIZE: 4" X 2-1/4" X 8", HERRINGBONE PATTERN; COLOR: PACIFIC CLAY "RED FLASHED" (PEDESTRIAN)
(E)	TYPE E: CLAY UNIT PAVER; SIZE: 4" X 2-1/4" X 8"; DOUBLE SOLDIER COURSE; COLOR: PACIFIC CLAY DARK IRON SPOT (PEDESTRIAN)
(F)	TYPE F: CAST IRON TRUNCATED DOME PANEL PER TOWN OF SUPERIOR ROADWAY DESIGN STANDARDS CURB RAMP NOTES, DRAWING NUMBER 27. COLOR TO BE UNCOATED NATURAL FINISH.
(G)	TYPE G: SANDSTONE PAVER (SAW CUT); 22" SQUARES (AFTER SAW CUT) BY 1-1/2" -2" THICKNESS (COLOR: LYONS RED)
(H)	CONCRETE SIDEWALK (BROOM FINISH). CONCRETE HATCH IS ALSO SHOWN ON THE TRAVEL LANES / SOME PARKING. THESE AREAS ARE STANDARD ROAD CONCRETE AND LABELED AS SUCH.
(I)	CONCRETE SIDEWALK (SAND WASHED FINISH)
(5)	STREET NAME STAMPED INTO INTEGRAL COLORED CONCRETE BAND. SEE SHEET L1.4 FOR CHARACTER PHOTO.
(K)	TYPE K: EXISTING CROSSWALK CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8"; HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE; COLOR: PACIFIC CLAY "PUEBLO FLASHED"
(L)	TYPE L: CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8", HERRINGBONE PATTERN; COLOR: PACIFIC CLAY "RED FLASHED"; NON-PERMEABLE (TRAVEL LANE/TRAFFIC RATED)

ALL CLAY PAVERS TO BE SMOOTH BRICK SOLIDS AND BE APPROVED BY OWNER'S REPRESENTATIVE.

LEGEND

	TRUCK APRON
	STOPPING SIGHT DISTANCE ENVELOPE DRIVER'S EYE = 3.5' AND OBJECT HEIGHT = 2.0'
	INTERSECTION SIGHT DISTANCE ENVELOPE DRIVER'S EYE = 3.5' AND OBJECT HEIGHT = 3.5'
	UNRESTRICTED AREA

NOTES:
INTERSECTION SIGHT DISTANCE ENVELOPES ARE BASED ON DRIVER'S EYE 50 FEET BACK FROM THE YIELD LINE WITH A CRITICAL GAP OF 5.0 SECONDS.

SIGHT DISTANCE ENVELOPE DIAGRAM

SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT #1 - PAVING AND LANDSCAPING

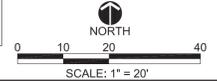
REVISIONS

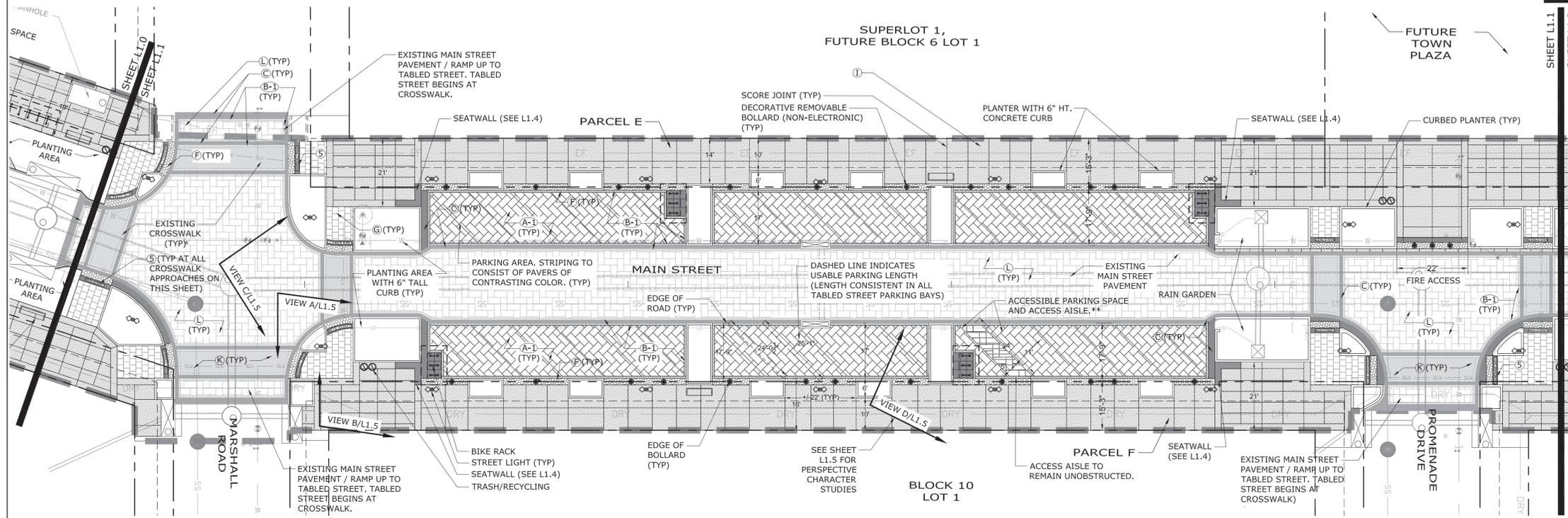
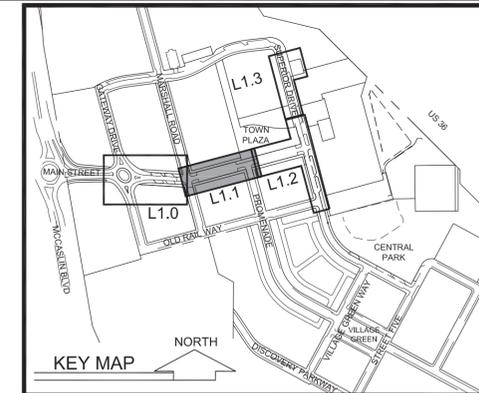
NO.	DESCRIPTION	DATE
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2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: ARH DATE: 05/05/2017
 DRAWN BY: ARH SCALE:
 CHECKED BY: PMK
 JOB NO.:
 DWG NAME:

PARTIAL
PAVING PLAN
1

SHEET: L1.0





LINETYPE LEGEND

---	PROJECT BOUNDARY
---	PROPERTY LINE

SYMBOL LEGEND

[Symbol]	PLANTER CURB (6" HT. /CONCRETE; SEE PLANTING PLANS FOR LOCATION OF PLANTS)
[Symbol]	RAIN GARDEN WITH 6" HT. CONCRETE CURB (GRADE SLOPES TO ALLOW DRAINAGE IN CENTER)
[Symbol]	BOLLARD
[Symbol]	TREE GRATE (5' X 8')
[Symbol]	TREE GRATE (4' X 6')
[Symbol]	SEAT WALL (18" HT.)

SITE FURNITURE:

[Symbol]	TRASH / RECYCLE
[Symbol]	BENCH
[Symbol]	BICYCLE RACKS

INFRASTRUCTURE LEGEND*

[Symbol]	LIGHT POLE
[Symbol]	DRY UTILITY CORRIDOR
[Symbol]	ELECTRIC LINE
[Symbol]	UNDERDRAIN
[Symbol]	SLEEVING
[Symbol]	WATER LINE
[Symbol]	SANITARY SEWER / MANHOLE
[Symbol]	STORM SEWER
[Symbol]	STORM INLET
[Symbol]	SIGN
[Symbol]	UNDERDRAIN CLEANOUT
[Symbol]	RAIN GARDEN INLET
[Symbol]	BARRICADE

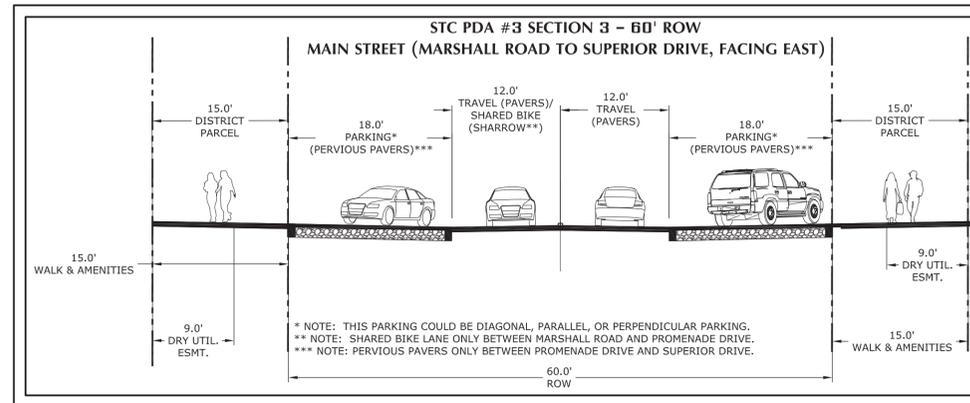
*INFRASTRUCTURE PER CIVIL SHEETS OR EXISTING CONDITIONS.

PAVING KEY

SYMBOL	MATERIAL
(A-1) & (A-2)	TYPE A: CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8", HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE WITH INTEGRATED PARKING STRIPES (SEE DETAIL, SHEET L1.5); PAVER FIELD COLOR: PACIFIC CLAY "RED FLASHED" (TRAFFIC RATED) PAVER STRIPE COLOR: PACIFIC CLAY DARK IRON SPOT (TRAFFIC RATED) TYPE "A-1" = NON-PERMEABLE TYPE "A-2" = PERMEABLE
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(C)	TYPE C: INTEGRAL COLORED CONCRETE BAND (DAVIS COLOR "GRAPHITE" OR SIMILAR)
(D)	TYPE D: CLAY UNIT PAVER; SIZE: 4" X 2-1/4" X 8", HERRINGBONE PATTERN; COLOR: PACIFIC CLAY "RED FLASHED" (PEDESTRIAN)
(E)	TYPE E: CLAY UNIT PAVER; SIZE: 4" X 2-1/4" X 8"; DOUBLE SOLDIER COURSE; COLOR: PACIFIC CLAY DARK IRON SPOT (PEDESTRIAN)
(F)	TYPE F: CAST IRON TRUNCATED DOME PANEL PER TOWN OF SUPERIOR ROADWAY DESIGN STANDARDS CURB RAMP NOTES, DRAWING NUMBER 27. COLOR TO BE UNCOATED NATURAL FINISH.
(G)	TYPE G: SANDSTONE PAVER (SAW CUT); 22" SQUARES (AFTER SAW CUT) BY 1-1/2" -2" THICKNESS (COLOR: LYONS RED)
(H)	CONCRETE SIDEWALK (BROOM FINISH). CONCRETE HATCH IS ALSO SHOWN ON THE TRAVEL LANES / SOME PARKING. THESE AREAS ARE STANDARD ROAD CONCRETE AND LABELED AS SUCH.
(I)	CONCRETE SIDEWALK (SAND WASHED FINISH)
(S)	STREET NAME STAMPED INTO INTEGRAL COLORED CONCRETE BAND. SEE SHEET L1.4 FOR CHARACTER PHOTO.
(K)	TYPE K: EXISTING CROSSWALK CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8"; HERRINGBONE PATTERN INSTALLED AT 45 DEGREE ANGLE; COLOR: PACIFIC CLAY "PUEBLO FLASHED"
(L)	TYPE L: CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8", HERRINGBONE PATTERN; COLOR: PACIFIC CLAY "RED FLASHED"; NON-PERMEABLE (TRAVEL LANE/TRAFFIC RATED)

ALL CLAY PAVERS TO BE SMOOTH BRICK SOLIDS AND BE APPROVED BY OWNER'S REPRESENTATIVE.

****ADA PARKING NOTE:**
 ALL ACCESSIBLE SPACES TO BE STRIPED AND SIGNED TO COMPLY WITH CURRENT ADA GUIDELINES AT THE TIME OF PERMIT. FINAL STRIPING AND SIGNAGE DETAILS TO BE PROVIDED FOR APPROVAL AT TIME OF PERMIT.



* NOTE: THIS PARKING COULD BE DIAGONAL, PARALLEL, OR PERPENDICULAR PARKING.
 ** NOTE: SHARED BIKE LANE ONLY BETWEEN MARSHALL ROAD AND PROMENADE DRIVE.
 *** NOTE: PERVIOUS PAVERS ONLY BETWEEN PROMENADE DRIVE AND SUPERIOR DRIVE.

**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT # 1 - PAVING AND LANDSCAPING**

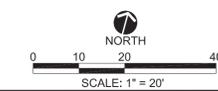
REVISIONS

NO.	DESCRIPTION	DATE
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4	MYLAR REVIEW	04-10-17
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DESIGNED BY: ARH DATE: 05/05/2017
 DRAWN BY: ARH SCALE:
 CHECKED BY: PMK
 JOB NO.:
 DWG NAME:

**PARTIAL
 PAVING PLAN
 2**

SHEET:
L1.1



LINETYPE LEGEND

- PROJECT BOUNDARY
- - - PROPERTY LINE

SYMBOL LEGEND

- PLANTER CURB (6" HT. / CONCRETE; SEE PLANTING PLANS FOR LOCATION OF PLANTS)
- RAIN GARDEN WITH 6" HT. CONCRETE CURB (GRADE SLOPES TO ALLOW DRAINAGE IN CENTER)
- BOLLARD
- TREE GRATE (5' X 8')
- TREE GRATE (4' X 6')
- SEAT WALL (18" HT.)
- SITE FURNITURE:**
- TRASH / RECYCLE
- BENCH
- BICYCLE RACKS

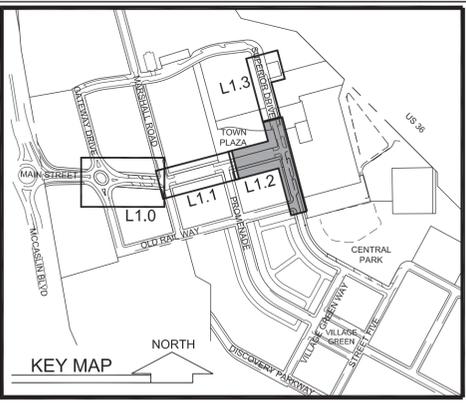
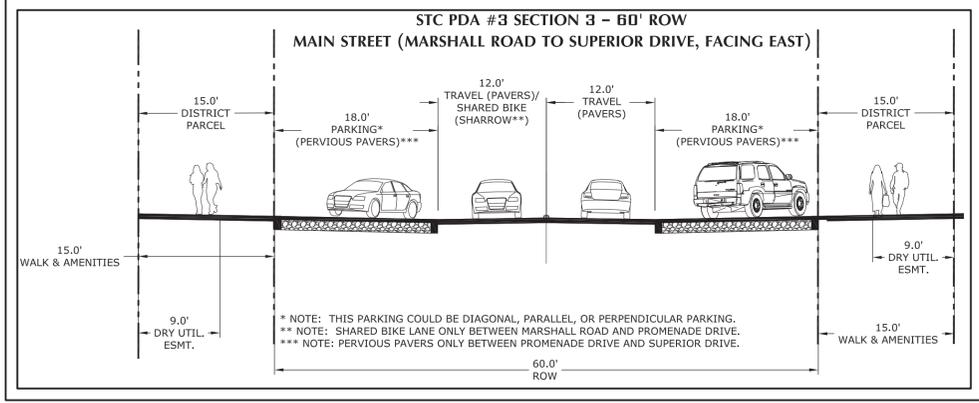
INFRASTRUCTURE LEGEND*

- LIGHT POLE
- DRY UTILITY CORRIDOR
- ELECTRIC LINE
- UNDERDRAIN
- SLEEVING
- WATER LINE
- SANITARY SEWER / MANHOLE
- STORM SEWER
- STORM INLET
- SIGN
- UNDERDRAIN CLEANOUT
- RAIN GARDEN INLET
- BARRICADE

*INFRASTRUCTURE PER CIVIL SHEETS OR EXISTING CONDITIONS.

SYMBOL	MATERIAL
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(L)	TYPE L: CLAY UNIT PAVER; SIZE: 4" X 2-5/8" X 8", HERRINGBONE PATTERN; COLOR: PACIFIC CLAY "RED FLASHED"; NON-PERMEABLE (TRAVEL LANE/TRAFFIC RATED)

ALL CLAY PAVERS TO BE SMOOTH BRICK SOLIDS AND BE APPROVED BY OWNER'S REPRESENTATIVE.



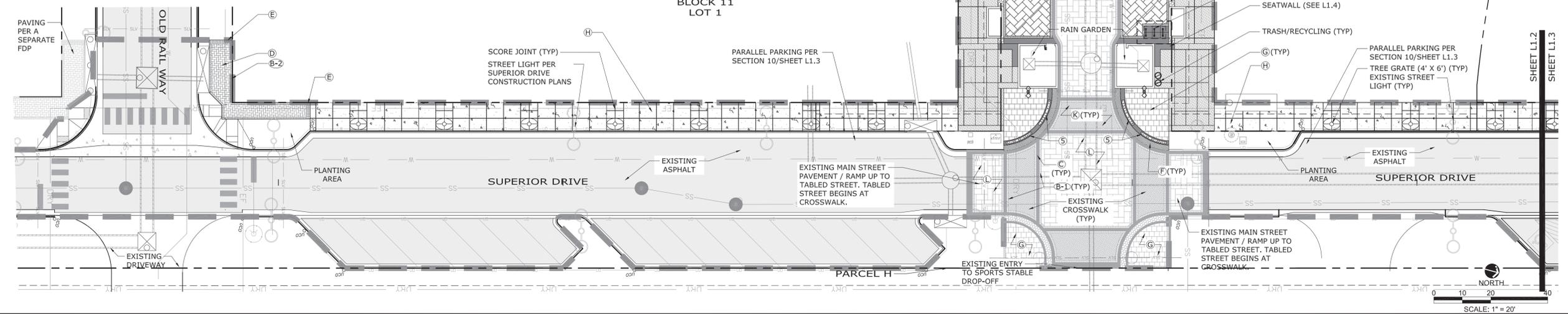
**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 1 - PHASE 1
 AMENDMENT #1 - PAVING AND LANDSCAPING**

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING COMMISSION	02-13-17
2	TOWN COMMENTS	03-01-17
3	TOWN BOARD	03-06-17
4	MYLAR REVIEW	04-10-17
5	MYLARS	05-05-17

DESIGNED BY: ARH DATE: 05/05/2017
 DRAWN BY: ARH SCALE:
 CHECKED BY: PMK
 JOB NO.:
 DWG NAME:

**PARTIAL
PAVING PLAN
3**

SHEET: **L1.2**



SCALE: 1" = 20'