

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17C D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

LEGAL DESCRIPTION

LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17C
 COUNTY OF BOULDER, STATE OF COLORADO

BENCHMARK

NGS MONUMENT DESIGNATION F 408 - A STAINLESS STEEL ROD IN BOX.
 ELEVATION = 5936.02 (NAVD 88 U.S. SURVEY FEET)

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE SW1/4 SECTION 29, TOWNSHIP 1 SOUTH, RANGE 69 WEST AS BEING N 89°55'00" W AS MONUMENTED AND SHOWN HEREON.

CERTIFICATE OF OWNERSHIP

I CERTIFY THAT Gary Rohr, President, Rock Creek Dev. Inc. AM THE SOLE OWNER OF THE PROPERTY AND CONSENT TO THIS PLAN.

IN WITNESS WHEREOF I HERETO SET MY HAND THIS 27th DAY OF November, 2018.

OWNERS: Gary Rohr MORTGAGEES OR LIEN HOLDERS: Colby Demko

STATE OF Colorado)
) SS.

COUNTY OF Arapahoe)

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF November, 2018, BY Gary Rohr, President, Rock Creek Dev. Inc.

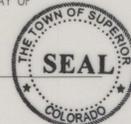
MY COMMISSION EXPIRES: 08/11/2022 Karen V Bennett
 NOTARY PUBLIC

(SEAL) **KAREN V BENNETT**
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 19874128255
 MY COMMISSION EXPIRES AUGUST 11, 2022

BOARD OF TRUSTEES CERTIFICATE

APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF SUPERIOR, STATE OF COLORADO, WITNESS MY HAND WITH THE CORPORATE SEAL OF THE TOWN OF SUPERIOR THIS 5th DAY OF December, 2018.

ATTEST: Phyllis L. Hardin Clint Tolson
 PHYLLIS L. HARDIN, TOWN CLERK MAYOR



PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS 4th DAY OF September, 2018 BY THE TOWN OF SUPERIOR PLANNING COMMISSION, RESOLUTION NO. PC 8 SERIES 2018.

TOWN CLERK CERTIFICATE

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS APPROVED BY THE BOARD OF TRUSTEES BY [RESOLUTION/ORDINANCE] NO. P-49, SERIES 2018, ON September 24, 2018 AND WAS FILED IN MY OFFICE ON THE 24th DAY OF November, 2018, AT 4:45 O'CLOCK P.M.

Phyllis L. Hardin
 TOWN CLERK

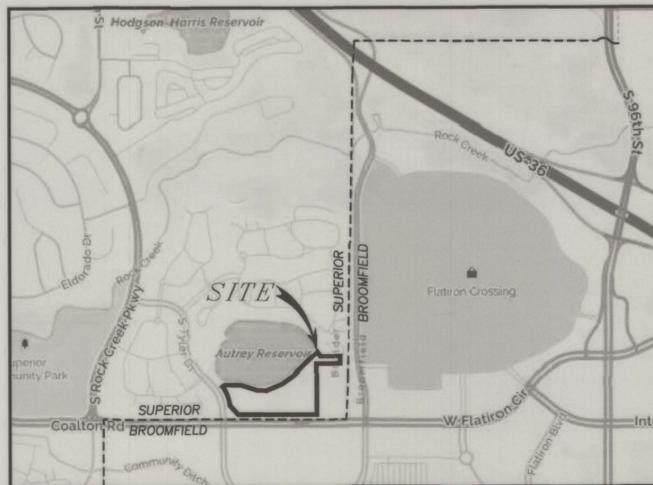
SURVEYOR'S CERTIFICATE

I, RY P. RUSK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY REPRESENTED BY THIS DRAWING WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST, THAT THIS DRAWING ACCURATELY REPRESENTS SAID SURVEY, AND THAT SAID SURVEY IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 38, ARTICLE 51, C.R.S., AS AMENDED, AND THE TOWN OF SUPERIOR MUNICIPAL CODE.

11.21.18
 DATE OF SURVEY REGISTERED LAND SURVEYOR SEAL

VESTED RIGHTS

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DESIGNED IN SECTION 24-68-101, ET, SEQ, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON 24th DAY OF September, 2018.



VICINITY MAP
 NOT TO SCALE

ZONING DATA TABLE

AREA	ACRES	SQUARE FEET	% OF SITE
TOTAL SITE AREA	7.196	313,458	100
GROUND FLOOR BUILDING COVERAGE	1.96	85,529	27
HARD SURFACE/PAVED AREA COVERAGE*	1.90	82,954	27
LANDSCAPED OPEN SPACE*	3.33	144,975	46

*SIDEWALK INCLUDED IN OPEN SPACE AREA

LAND USE TABLE:

LOT 1, BLOCK 1	ACREAGE	SQ FT	OWNERSHIP	USE	ZONING
	7.196	313,458	AUTREY SHORES, LLC	RESIDENTIAL	R-2A

SEE OVERALL SITE PLAN ON SHEET 3 FOR DEVELOPMENT STANDARDS AND SITE DATA.

PROJECT TEAM

OWNER/APPLICANT
 AUTREY SHORES, LLC
 3198 BLAKE STREET
 SUITE 222
 DENVER, CO 80205
 303-249-2251
 CONTACT: NATHAN SANDBERG

ARCHITECT
 NEO STUDIO
 3560 WALNUT ST, UNIT A
 DENVER, CO 80205
 303-758-3800
 CONTACT: MICHAEL NODA

LANDSCAPE ARCHITECT
 CONSILIUM DESIGN
 7353 S ALTON WAY, SUITE A135
 CENTENNIAL, CO 80112
 303-224-9520
 CONTACT: JEFF WOHLFARTH, PLA

ENGINEER
 TJC LIMITED
 4955 IRIS ST
 WHEAT RIDGE, CO 80033
 303-840-4742
 CONTACT: JIM ALLEN, PE

LIGHTING
 VISUAL INTEREST
 3444 BRIGHTON BLVD
 DENVER, CO 80216
 303-861-8448
 CONTACT: JULIANA RUFFALO

SURVEYOR
 FORESIGHT WEST SURVEYING INC
 4955 IRIS ST
 WHEAT RIDGE, CO 80033
 303-504-4440
 CONTACT: RY RUSK, PLS

IRRIGATION CONSULTANT
 HYDRO SYSTEMS-KDI INC
 860 TABOR ST, SUITE 200
 LAKEWOOD, CO 80401
 303-980-5327

AGENCY LIST

MUNICIPALITY
 TOWN OF SUPERIOR - PLANNING DEPARTMENT
 124 COAL CREEK DR
 SUPERIOR, CO 80027
 303-499-3675
 CONTACT: STEVEN WILLIAMS

FIRE PROTECTION
 ROCKY MOUNTAIN FIRE DEPARTMENT
 2701 SOUTH INDIANA ST
 SUPERIOR, CO 80027
 303-494-3735
 CONTACT: MICHELLE KELLY

STORM DRAINAGE
 TOWN OF SUPERIOR - PUBLIC WORKS
 405 CENTER DR, SUITE E
 SUPERIOR, CO 80027
 303-499-3675
 CONTACT: ALEX ARINIELLO

WATER & SANITATION
 TOWN OF SUPERIOR - PUBLIC WORKS
 405 CENTER DR, SUITE E
 SUPERIOR, CO 80027
 303-381-2013
 CONTACT: JIM WIDNER

DITCH COMPANY
 SUPERIOR METROPOLITAN DISTRICT NO. 1
 405 CENTER DR, SUITE E
 SUPERIOR, CO 80027

SHEET INDEX

- 1 COVER SHEET
- 2 CONTEXT SITE PLAN
- 3 OVERALL SITE PLAN
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- 9 PARKING AND SIGNING PLAN
- 10 OVERALL DRAINAGE PLAN
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TJC LIMITED
 4955 IRIS ST.
 WHEAT RIDGE, CO 80033
 303.840.4742
 www.tjconsultant.com

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17C
FINAL PLAT SITE PLAN
COVER SHEET

MTLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: TBM
 CHECKED BY: JA
 PROJECT NO. 171004

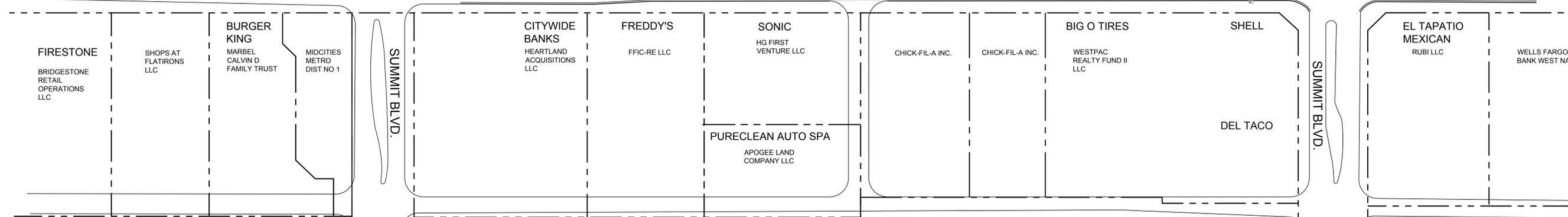
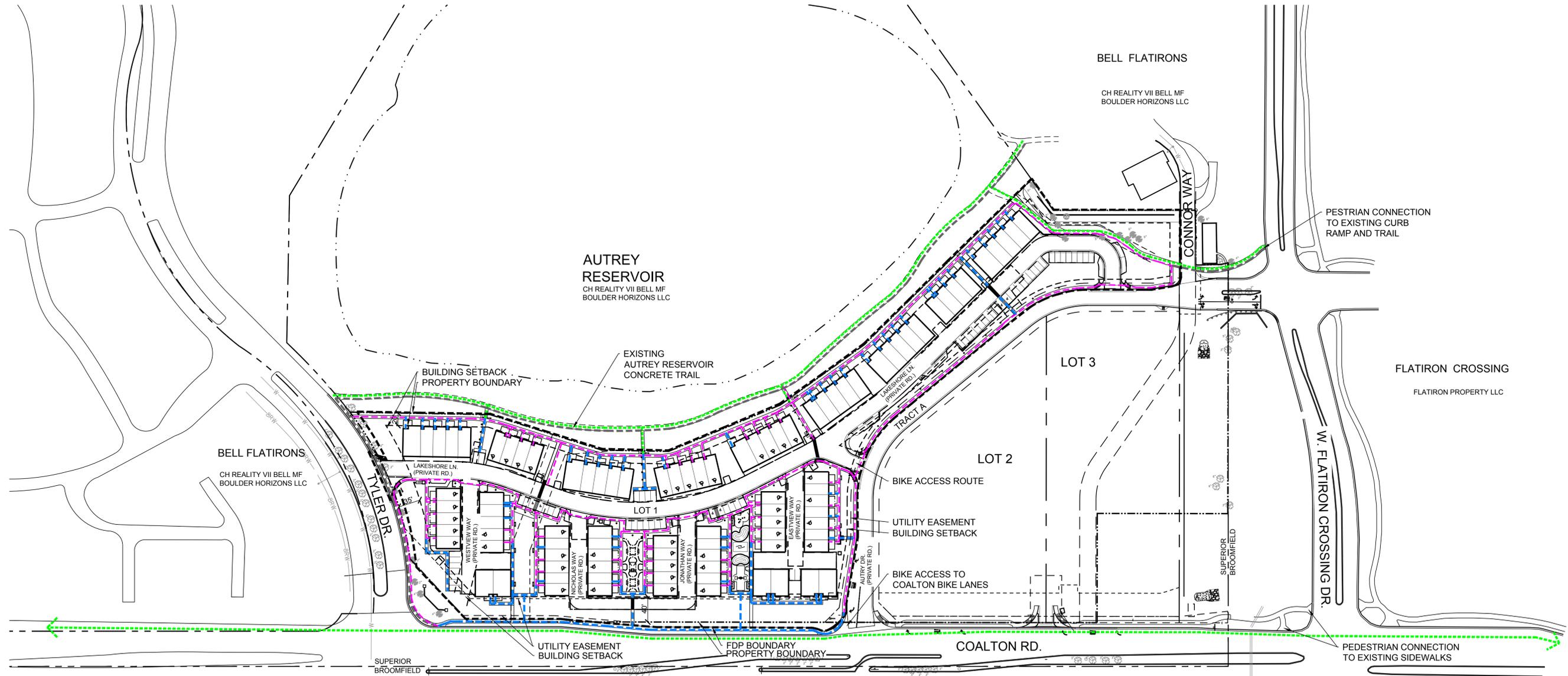
SHEET 1 OF 52

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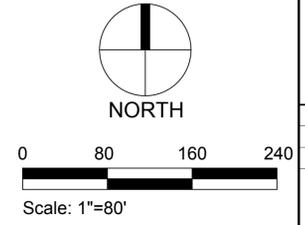
tjc
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Consilium Design
 LAND PLANNING AND
 LANDSCAPE ARCHITECTURE
 7353 SOUTH ALTON WAY,
 SUITE 135
 CENTENNIAL, CO 80112
 TEL. 303.224.9520
 FAX 303.224.9524
 www.consiliumdesign.com



LEGEND

	FDP BOUNDARY
	BIKE ACCESS ROUTE
	ADA ACCESSIBLE PEDESTRIAN ROUTE
	PROPOSED PEDESTRIAN PATHWAY
	EXISTING PEDESTRIAN PATHWAY
	UTILITY EASEMENT
	PROPERTY BOUNDARY
	BUILDING SETBACK
	EXISTING TREE
	ADA UNITS



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
CONTEXT SITE PLAN

MYLARS	DATE	DESCRIPTION
TOWN BOARD	11/21/2018	
PLANNING COMMISSION	9/14/2018	
TOWN COMMENTS	8/31/2018	
TOWN COMMENTS	8/24/2018	
REVISED SITE LAYOUT	7/24/2018	
SECOND SUBMITTAL	4/13/2018	
REVISED SITE PLAN	10/27/2017	
	8/17/2017	

DRAWN BY: TBM
 CHECKED BY: JW
 PROJECT NO. 171004
 SHEET 2 OF 52

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BUILDING MIX:

BUILDING	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	# UNITS/ BUILDINGS	# BUILDINGS	TOTAL UNITS	BLDG OVERALL SF	BLDG W/OUT GA	BLDG GARAGE	LEVEL 1	LEVEL 2	LEVEL 3
BUILDING A (5 PLEX - RESERVOIR)	3	1	1					5	25	15,195	12,525	2,670	2,474	5,341	4,710	
BUILDING B-4 (4 PLEX - RESERVOIR)	2	2						4	2	8	12,002	10,016	1,986	1,844	4,086	4,086
BUILDING B-5 (5 PLEX - RESERVOIR)	3	2						5	2	10	14,897	12,419	2,478	2,301	5,059	5,059
BUILDING E (5 PLEX - PLATEAU)					3	2		5	4	20	11,474	9,463	2,011	1,719	3,772	3,972
BUILDING F (6 PLEX - PLATEAU)				2	2			6	3	18	13,258	10,932	2,326	1,990	4,358	4,584
BUILDING G (7 PLEX - PLATEAU)				3	2	2		7	1	7	15,281	12,598	2,683	2,296	5,021	5,281
BUILDING H (DUPLX - PLATEAU)							2	2	3	6	6,182	5,004	1,178	1,070	2,088	1,846
TOTALS	25	13	5	9	20	16	2	6	20	94						

NOTE: SEE BUILDING HEIGHT TABLE FOR BUILDING NUMBER AND BUILDING TYPE CORRELATION.

UNIT SIZES:

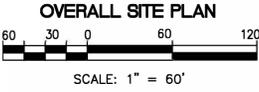
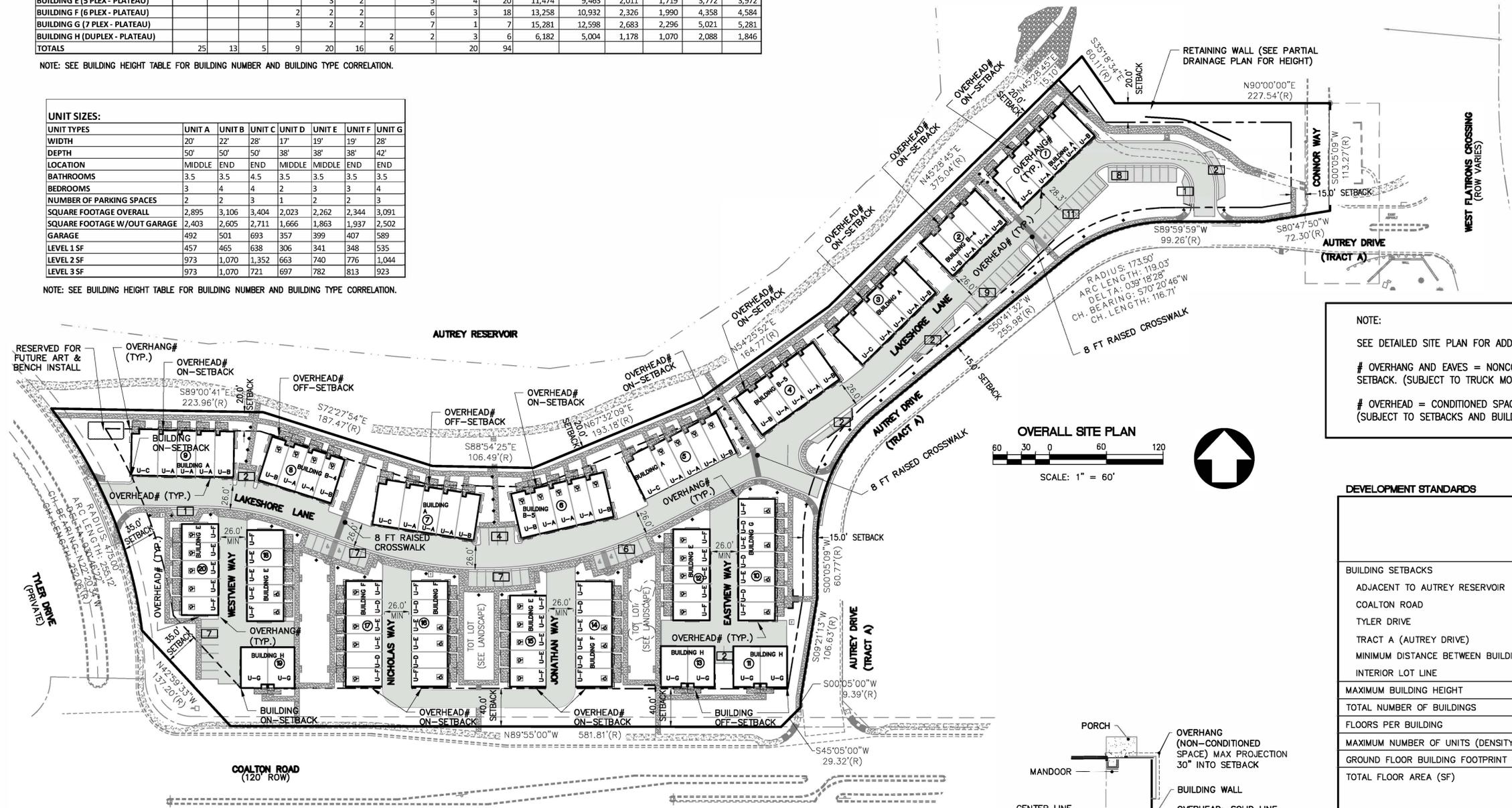
UNIT TYPES	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G
WIDTH	20'	22'	28'	17'	19'	19'	28'
DEPTH	50'	50'	50'	38'	38'	38'	42'
LOCATION	MIDDLE	END	END	MIDDLE	MIDDLE	END	END
BATHROOMS	3.5	3.5	4.5	3.5	3.5	3.5	3.5
BEDROOMS	3	4	4	2	3	3	4
NUMBER OF PARKING SPACES	2	2	3	1	2	2	3
SQUARE FOOTAGE OVERALL	2,895	3,106	3,404	2,023	2,262	2,344	3,091
SQUARE FOOTAGE W/OUT GARAGE	2,403	2,605	2,711	1,666	1,863	1,937	2,502
GARAGE	492	501	693	357	399	407	589
LEVEL 1 SF	457	465	638	306	341	348	535
LEVEL 2 SF	973	1,070	1,352	663	740	776	1,044
LEVEL 3 SF	973	1,070	721	697	782	813	923

NOTE: SEE BUILDING HEIGHT TABLE FOR BUILDING NUMBER AND BUILDING TYPE CORRELATION.

BUILDING HEIGHTS:

BUILDING NUMBER	BUILDING TYPE	TOTAL BUILDING HEIGHT	ALLOWABLE BUILDING HEIGHT	# OF STORES
1	A	43'	50'	3
2	B-4	44'	50'	3
3	A	44'	50'	3
4	B-5	43'	50'	3
5	A	44'	50'	3
6	B-5	44'	50'	3
7	A	44'	50'	3
8	B-4	43'	50'	3
9	A	43'	50'	3
10	G	44'	50'	3
11	H	44'	50'	3
12	E	44'	50'	3
13	H	43'	50'	3
14	F	44'	50'	3
15	E	44'	50'	3
16	F	43'	50'	3
17	F	44'	50'	3
18	E	43'	50'	3
19	H	44'	50'	3
20	E	43'	50'	3

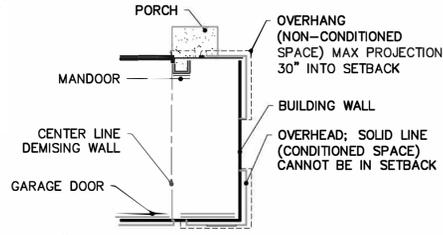
NOTE: BUILDING HEIGHTS INCLUDE ROOF TOP DECKS AND STAIR ACCESS.



NOTE:
 SEE DETAILED SITE PLAN FOR ADDITIONAL DIMENSIONING
 # OVERHANG AND EAVES = NONCONDITIONED SPACE WITH MAXIMUM 30" PROJECTION INTO SETBACK. (SUBJECT TO TRUCK MOVEMENTS)
 # OVERHEAD = CONDITIONED SPACE (SUBJECT TO SETBACKS AND BUILDING SPACING)

DEVELOPMENT STANDARDS

	REQUIRED FROM PUD AMENDMENT NO. 23 LOT 1, BLOCK 1 ROCK CREEK RANCH FILING NO. 17C	PROPOSED
BUILDING SETBACKS		
ADJACENT TO AUTREY RESERVOIR	20'	20'
COALTON ROAD	40'	40'
TYLER DRIVE	35'	35'
TRACT A (AUTREY DRIVE)	15'	15'
MINIMUM DISTANCE BETWEEN BUILDINGS	20'	20'
INTERIOR LOT LINE	0'	N/A
MAXIMUM BUILDING HEIGHT	45'	50'
TOTAL NUMBER OF BUILDINGS	N/A	20
FLOORS PER BUILDING	N/A	3
MAXIMUM NUMBER OF UNITS (DENSITY)	14 DU'S/ACRE	13.1 DU'S/ACRE
GROUND FLOOR BUILDING FOOTPRINT (SF)	N/A	205,753 (LIVING)
TOTAL FLOOR AREA (SF)	N/A	43,517 (GARAGE)
		249,270 (TOTAL)
PARKING	SEE DETAILED PARKING TABLE THIS SHEET	



TYPICAL BUILDING

ARTICLE 5 ACCESSIBILITY COMPLIANCE:

UNIT TYPE:	A	B	C	D	E	F	G
TOTAL COUNT PER UNIT:	25	13	5	9	20	16	6
POSSIBLE ADA POINTS/UNIT:	1	1	0	0	1	1	1
NUMBER UNITS WITH ACCESSIBLE BATHROOM:	8	4	0	0	18	13	0
TOTALS:	8	4	0	0	18	13	0
# OF POINTS REQUIRED:	42						
POINTS PROVIDED:	43						

**** ACCESSIBILITY POINTS ARE ACHIEVED WITH 8 TYPE A UNITS, 4 TYPE B UNITS, 18 TYPE E UNITS, AND 13 TYPE F UNITS (SEE SHEET 3 FOR UNIT LOCATIONS). EACH OF THESE UNITS PROVIDE GROUND FLOOR ACCESSIBILITY WITH TYPE B ACCESSIBLE BATHROOM ON THE FIRST FLOOR AND ENTRIES THAT ARE ACCESSIBLE VIA THE ACCESSIBLE PATHS ON SITE.

- LEGEND**
- PARKING SPOTS
 - UNIT TYPE
 - BUILDING NUMBER

PARKING: NUMBER OF PARKING SPOTS PER TOWN OF SUPERIOR CODE.

Units/Bedrooms	Parking Ratio	Requirement	Proposed Garage Parking	Proposed Surface Parking	Total Proposed Parking
2-bedroom units: 9	2 spaces/unit	18 spaces	9x2(tandem) = 18	9*	27
3-bedroom units: 61	2.5 spaces/unit	152.5 (153) spaces	61x2=122	31	153
4-bedroom units: 24	2.5 spaces/unit	60 spaces	11x3=33 13x2=26 Total = 59	7**	66
Guest Parking	.25/unit	23.5 (24)	0	24***	24
Total:		255	199	71	270
Bike Parking	1/10 parking spaces	27	94	36	130

* 9 additional surface parking spaces have been provided to allay concerns regarding tandem parking.
 ** 7 additional surface parking spaces have been provided, as garage parking cannot be shared.
 *** 6 of the proposed surface parking spaces are ADA parking spaces.

SUPERIOR SHORES CONDOMINIUMS
 LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
 FINAL PLAT SITE PLAN
 OVERALL SITE PLAN

MYLARS	TOWN BOARD	PLANNING COMMISSION	TOWN COMMENTS	TOWN COMMENTS	REVISED SITE LAYOUT	2ND SUBMITTAL	INITIAL SUBMITTAL
	11/21/2018	9/14/2018	8/31/2018	8/24/2018	7/23/2018	4/13/2018	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004
 SHEET 3 OF 52

Plotted: Nov 20, 2018 - 3:06pm
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 Layout Name: FSP OVERALL

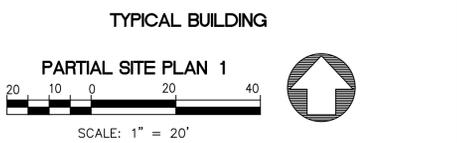
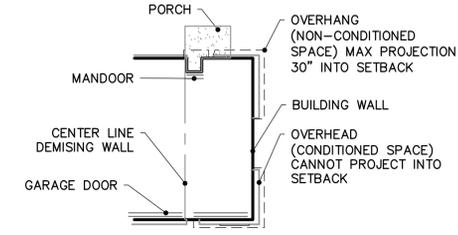
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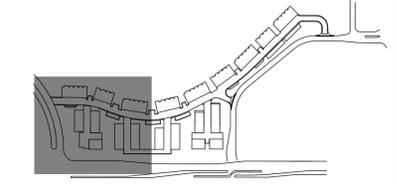


LEGEND

- N80245°W PROPERTY LINE
- - - - - EXIST FENCE
- - - - - EXIST CONTOUR
- (EP)--- EXIST ELECTRIC
- (GP)--- EXIST GAS
- (ST)--- EXIST STORM SEWER
- (SS)--- EXIST SANITARY SEWER
- (SM)--- EXIST STORM MANHOLE
- (SMH)--- EXIST SANITARY MANHOLE
- (PW)--- EXIST POTABLE WATER LINE
- (RW)--- EXIST RECLAIMED WATER LINE
- (GV)--- GATE VALVE
- (FH)--- FIRE HYDRANT
- (SS)--- STORM SEWER
- (SS)--- SANITARY SEWER
- (DW)--- DOMESTIC WATER
- (B)--- BUILDING
- (BD)--- BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX- 1 FT CONTOUR
- XX- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- STORM MANHOLE
- SANITARY MANHOLE
- CURB STOP
- WATER METER
- ADA PARKING
- BENCH SEE LANDSCAPE
- PARKING SPACE COUNT
- MEDIAN CURB (12") SD#21
- VERTICAL CURB (24") SD#21
- (BO)--- BUILDING OVERHANG (NON-CONDITIONED SPACE)
- (BO)--- BUILDING OVERHANG (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN OVERHANGS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- # BUILDING NUMBER
- T TRANSFORMER
- RAW WATER
- ADA ACCESSIBLE UNIT
- (GP)--- GAS LINE
- (EP)--- ELECTRICAL LINE



- NOTE:**
1. UE = UTILITY EASEMENT
 2. EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
 3. PAE = PUBLIC ACCESS EASEMENT
 4. DUE = DRY UTILITY EASEMENT



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LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL SITE PLAN 1

MYLARS	11/21/2018
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DESIGNED BY:	JWA
DRAWN BY:	JA
CHECKED BY:	TBM
PROJECT NO.	171004

Plotted: Dec 12, 2018 7:08am
 Final F:\03_Projects\171004_Superior Shores\05_CAD\SITE PLAN.dwg Layout Name: SP 1

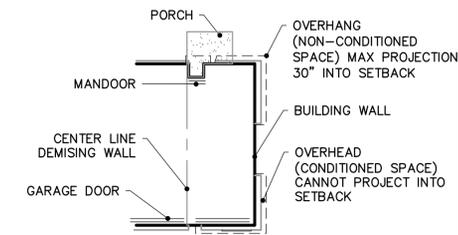
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 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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 THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DESIGNED IN SECTION 24-68-101, ET, SEQ, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____ 20____.

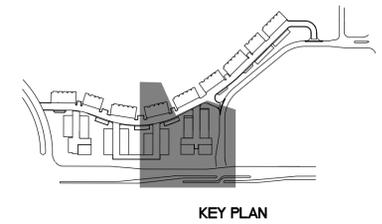
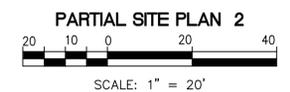
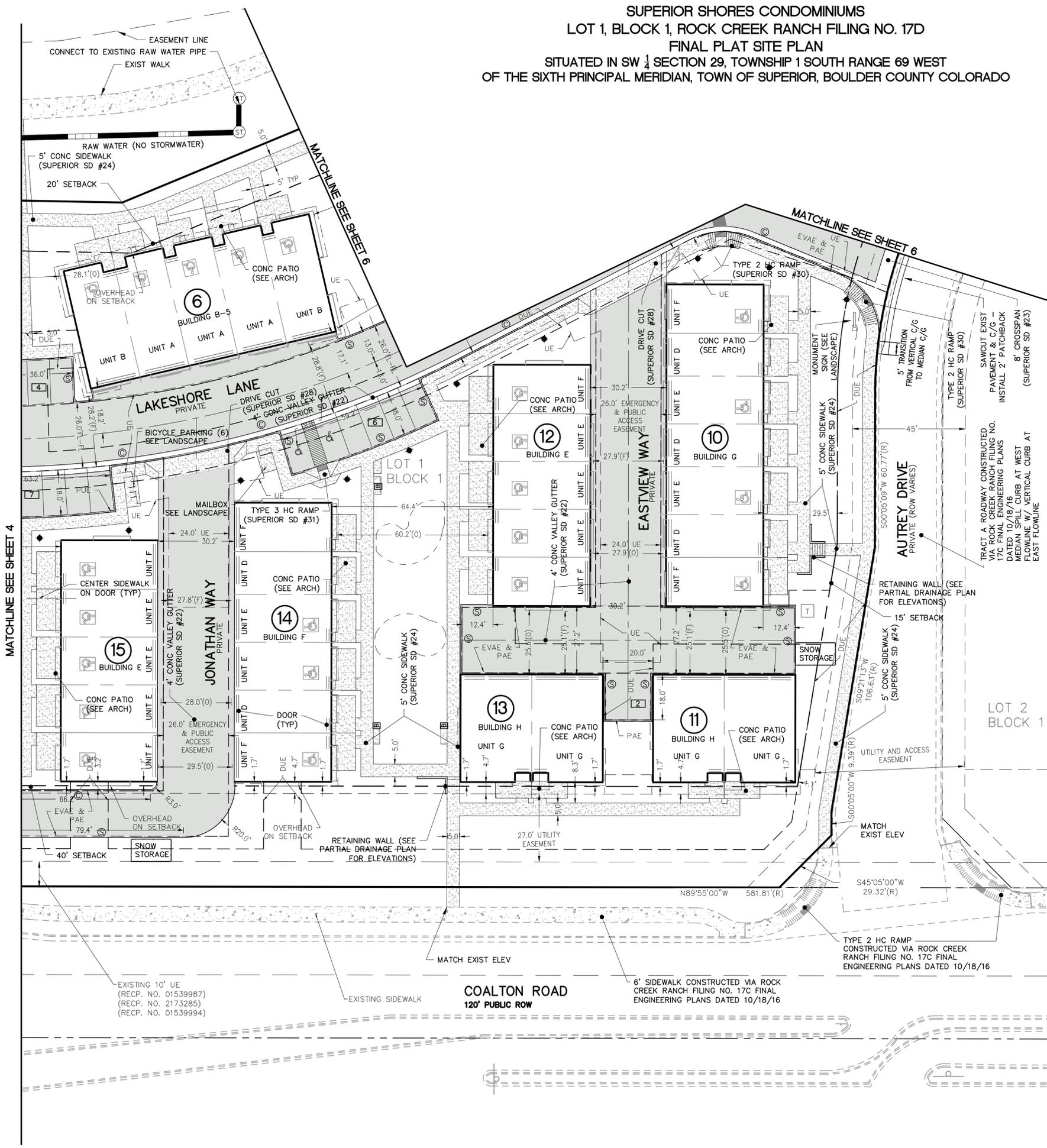


LEGEND

- N80°34'5"W PROPERTY LINE
- - - - - EXIST FENCE
- - - - - EXIST CONTOUR
- (EP)--- EXIST ELECTRIC
- (GP)--- EXIST GAS
- (ST)--- EXIST STORM SEWER
- (SS)--- EXIST STORM MANHOLE
- (SS)--- EXIST SANITARY SEWER
- (SM)--- EXIST SANITARY MANHOLE
- (PW)--- EXIST POTABLE WATER LINE
- (RW)--- EXIST RECLAIMED WATER LINE
- (GV)--- GATE VALVE
- FIRE HYDRANT
- (SS)--- STORM SEWER
- (SS)--- SANITARY SEWER
- (VW)--- DOMESTIC WATER
- (B)--- BUILDING
- (D)--- BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX- 1 FT CONTOUR
- XX- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- ⊕ STORM MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ CURB STOP
- ⊕ ADA PARKING
- ⊕ WATER METER
- ⊕ ADA PARKING
- ⊕ BENCH SEE LANDSCAPE
- ⊕ PARKING SPACE COUNT
- ⊕ MEDIAN CURB (12") SD#21
- ⊕ VERTICAL CURB (24") SD#21
- - - - - BUILDING OVERHANG (NON-CONDITIONED SPACE)
- - - - - BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN OVERHANGS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- ⊕ BUILDING NUMBER
- ⊕ TRANSFORMER
- RAW WATER
- ADA ACCESSIBLE UNIT
- ⊕ GAS LINE
- ⊕ ELECTRICAL LINE



NOTE:
 1. UE = UTILITY EASEMENT
 2. EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
 3. PAE = PUBLIC ACCESS EASEMENT
 4. DUE = DRY UTILITY EASEMENT



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL SITE PLAN 2

MYLARS	DATE	DESCRIPTION
TOWN BOARD	11/21/2018	
PLANNING COMMISSION	9/14/2018	
TOWN COMMENTS	8/31/2018	
TOWN COMMENTS	8/24/2018	
TOWN COMMENTS	7/23/2018	
REVISED SITE LAYOUT	4/13/2018	
2ND SUBMITTAL	10/27/2017	
INITIAL SUBMITTAL	6/29/2017	

DESIGNED BY:	JWA
DRAWN BY:	JA
CHECKED BY:	TBM
PROJECT NO.	171004
SHEET	5
OF	52

Plotted: Dec 12, 2018 - 7:08am
 Final F:\03_Projects\171004_Superior Shores\05_CAD\SITE PLAN.dwg Layout Name: SP 2

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

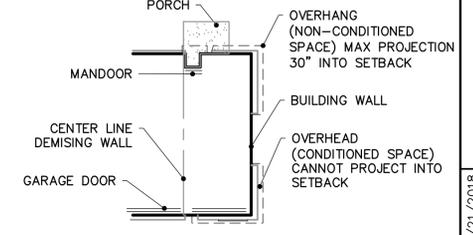
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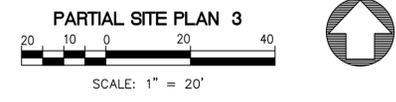
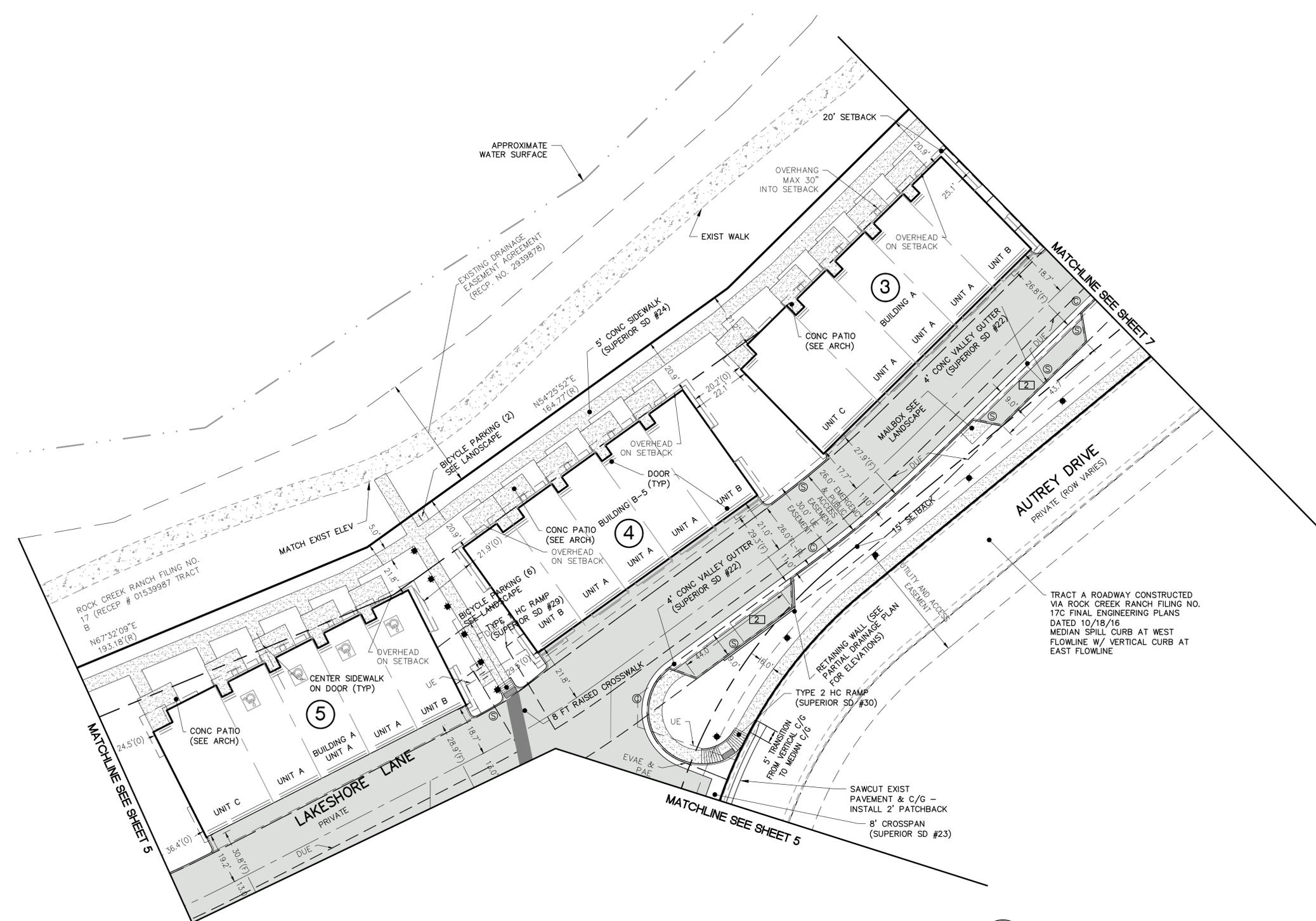
LEGEND

- PROPERTY LINE
- EXIST FENCE
- EXIST CONTOUR
- EXIST ELECTRIC
- EXIST TELEPHONE
- EXIST GAS
- EXIST STORM SEWER
- EXIST STORM MANHOLE
- EXIST SANITARY SEWER
- EXIST SANITARY MANHOLE
- EXIST POTABLE WATER LINE
- EXIST RECLAIMED WATER LINE
- GATE VALVE
- FIRE HYDRANT
- STORM SEWER
- SANITARY SEWER
- DOMESTIC WATER
- BUILDING
- BUILDING DOOR
- FINISHED SLOPE
- GROUND ELEVATION OUTSIDE
- 1 FT CONTOUR
- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- STORM MANHOLE
- SANITARY MANHOLE
- CURB STOP
- WATER METER
- ADA PARKING
- BENCH SEE LANDSCAPE
- PARKING SPACE COUNT
- MEDIAN CURB (12" SD#21
- VERTICAL CURB (24" SD#21
- BUILDING OVERHANG (NON-CONDITIONED SPACE)
- BUILDING OVERHANG (CONDITIONED SPACE)
- MEASURED DISTANCE BETWEEN OVERHANGS
- MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- MEASURED DISTANCE FLOWLINE TO FLOWLINE
- BUILDING NUMBER
- TRANSFORMER
- RAW WATER
- ADA ACCESSIBLE UNIT
- GAS LINE
- ELECTRICAL LINE



TYPICAL BUILDING

- NOTE:
 1. UE = UTILITY EASEMENT
 2. EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
 3. PAE = PUBLIC ACCESS EASEMENT
 4. DUE = DRY UTILITY EASEMENT



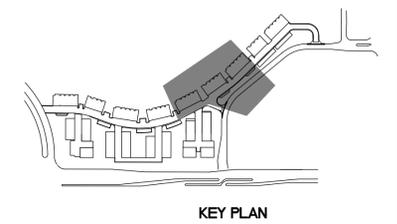
TRACT A ROADWAY CONSTRUCTED VIA ROCK CREEK RANCH FILING NO. 17C FINAL ENGINEERING PLANS DATED 10/18/16 MEDIAN SPILL CURB AT WEST FLOWLINE W/ VERTICAL CURB AT EAST FLOWLINE

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL SITE PLAN 3

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004

Plotted: Dec 12, 2018 - 7:08am
 Final F:\03_Projects\171004_Superior Shores\05_CAD\01 SITE PLAN.dwg Layout Name: SP 3



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

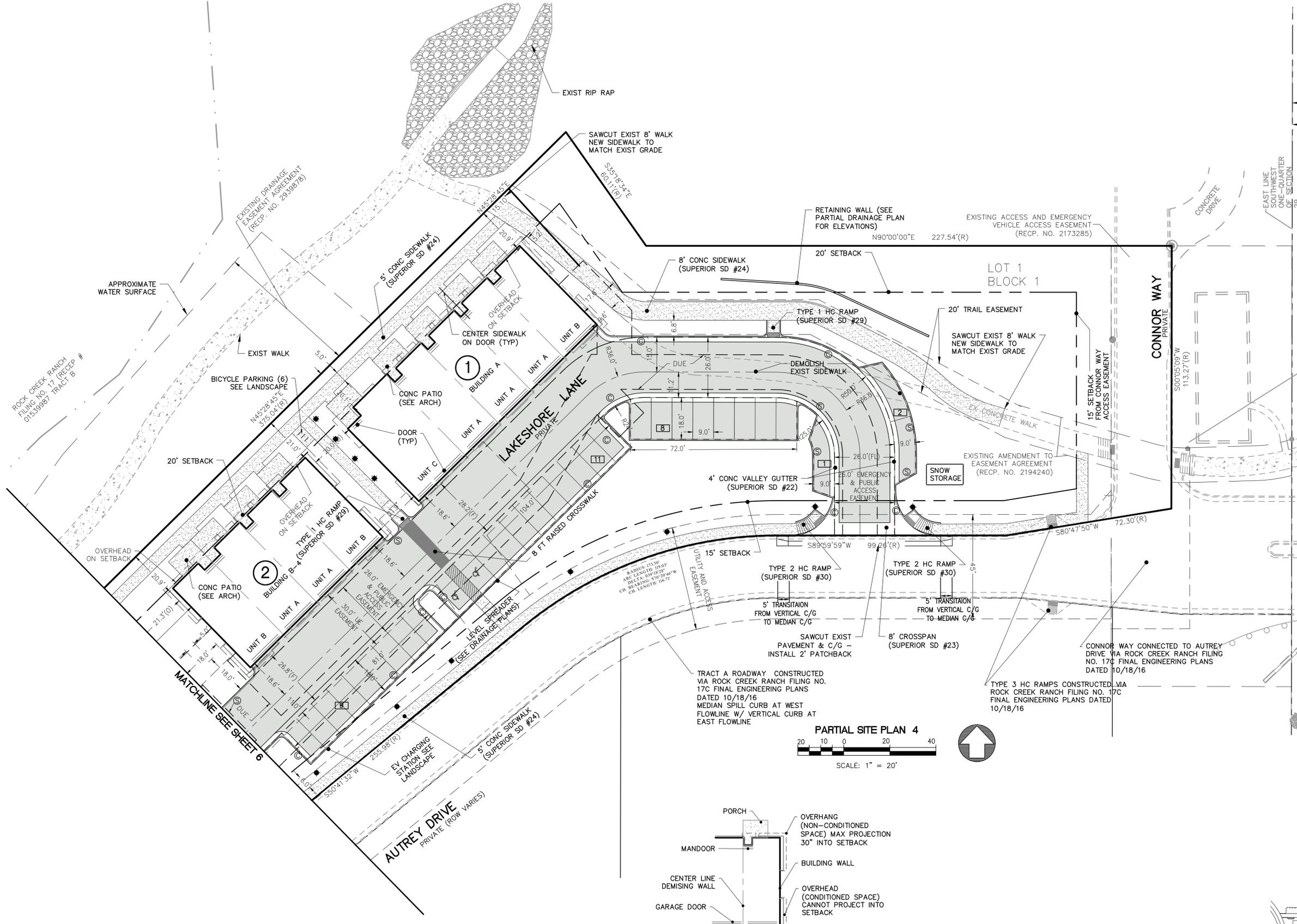
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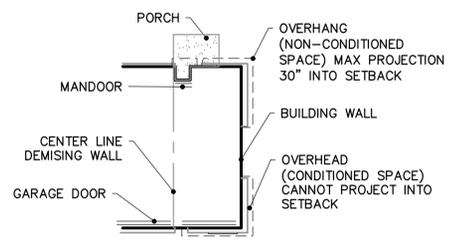
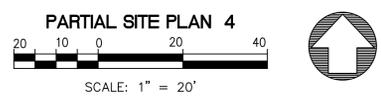
LEGEND

- PROPERTY LINE
- EXIST FENCE
- EXIST CONTOUR
- EXIST ELECTRIC
- EXIST TELEPHONE
- EXIST GAS
- EXIST STORM SEWER
- EXIST SANITARY SEWER
- EXIST STORM MANHOLE
- EXIST SANITARY MANHOLE
- EXIST POTABLE WATER LINE
- EXIST RECLAIMED WATER LINE
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- FIRE HYDRANT
- STORM SEWER
- SANITARY SEWER
- DOMESTIC WATER BUILDING
- BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- 1 FT CONTOUR
- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- STORM MANHOLE
- SANITARY MANHOLE
- CURB STOP
- WATER METER
- ADA PARKING
- BENCH SEE LANDSCAPE
- PARKING SPACE COUNT
- MEDIAN CURB (12" SD#21)
- VERTICAL CURB (24" SD#21)
- BUILDING OVERHANG (NON-CONDITIONED SPACE)
- BUILDING OVERHANG (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN OVERHANGS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- BUILDING NUMBER
- TRANSFORMER
- RAW WATER
- ADA ACCESSIBLE UNIT
- GAS LINE
- ELECTRICAL LINE

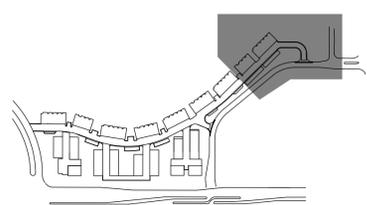


TRACT A ROADWAY CONSTRUCTED VIA ROCK CREEK RANCH FILING NO. 17C FINAL ENGINEERING PLANS DATED 10/18/16
 MEDIAN SPILL CURB AT WEST FLOWLINE W/ VERTICAL CURB AT EAST FLOWLINE

TYPE 3 HC RAMPS CONSTRUCTED VIA ROCK CREEK RANCH FILING NO. 17C FINAL ENGINEERING PLANS DATED 10/18/16



TYPICAL BUILDING



KEY PLAN

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL SITE PLAN 4

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

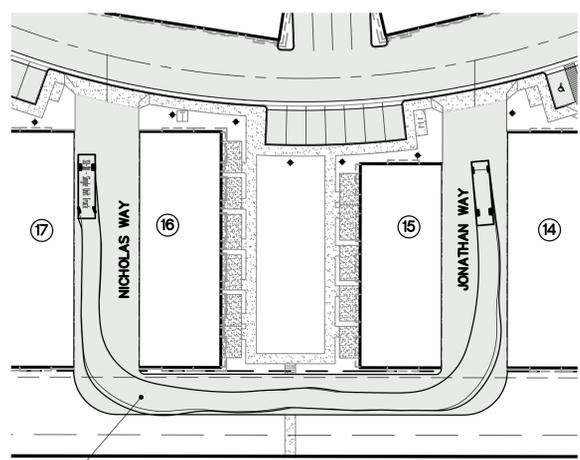
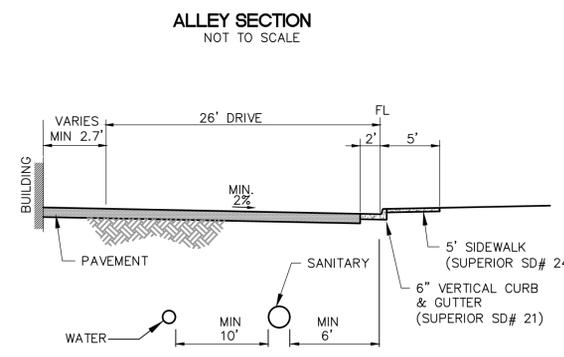
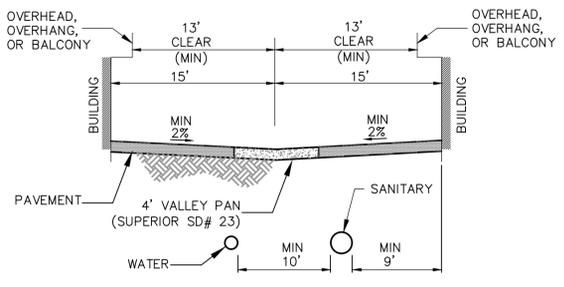
DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004

Plotted: Dec 12, 2018 - 7:09am
 Final F:\03_Projects\171004_Superior Shores\05_CADD\SITE PLAN.dwg Layout Name: SP_4

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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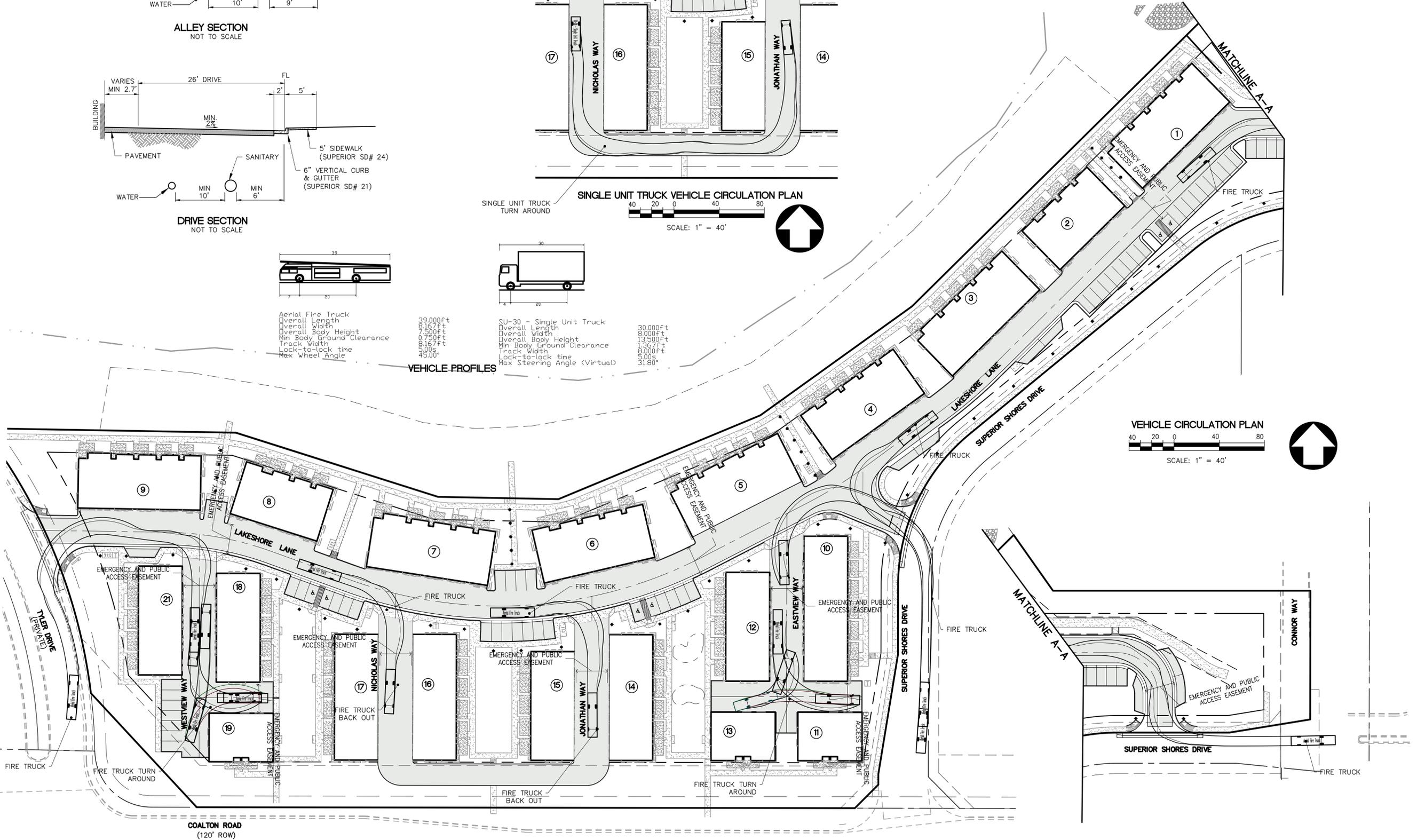
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SINGLE UNIT TRUCK VEHICLE CIRCULATION PLAN
 SCALE: 1" = 40'

VEHICLE PROFILES

Aerial Fire Truck	39.000ft	SU-30 - Single Unit Truck	30.000ft
Overall Length	39.000ft	Overall Length	30.000ft
Overall Width	7.500ft	Overall Width	13.500ft
Overall Body Height	6.750ft	Overall Body Height	8.000ft
Min Body Ground Clearance	8.167ft	Min Body Ground Clearance	3.367ft
Track Width	6.000ft	Track Width	6.000ft
Lock-to-lock time	4.00s	Lock-to-lock time	3.00s
Max Wheel Angle	45.00°	Max Steering Angle (Virtual)	31.80°



VEHICLE CIRCULATION PLAN
 SCALE: 1" = 40'

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
VEHICLE CIRCULATION PLAN

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004

Plotted: Dec 12, 2018 7:13am
 Final F:\03_Projects\171004_Superior Shores\05_CADD\CIRCULATION_Plan.dwg Layout Name: Layout1

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW ¼ SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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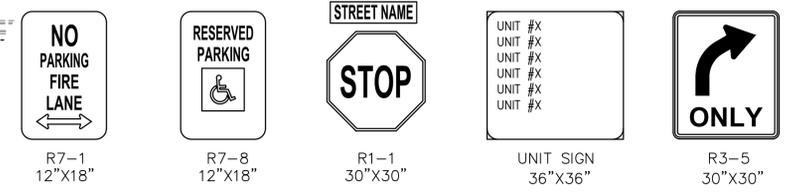
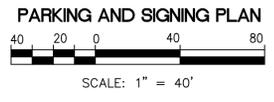
PARKING:					
Units/Bedrooms	Parking Ratio	Requirement	Proposed Garage Parking	Proposed Surface Parking	Total Proposed Parking
2-bedroom units: 9	2 spaces/unit	18 spaces	9x2(tandem) = 9	9*	27
3-bedroom units: 61	2.5 spaces/unit	152.5 (153) spaces	61x2=122	31	153
4-bedroom units: 24	2.5 spaces/unit	60 spaces	11x3=33 13x2=26 Total = 59	7**	66
Guest Parking	.25/unit	23.5 (24)	0	24***	24
Total:		255	199	71	270
Bike Parking	1/10 parking spaces	27	94	36	130

NOTE:
 * 9 ADDITIONAL SURFACE PARKING SPACES HAVE BEEN PROVIDED TO ALLAY CONCERNS REGARDING TANDEM PARKING.
 ** 7 ADDITIONAL SURFACE PARKING SPACES HAVE BEEN PROVIDED, AS GARAGE PARKING CANNOT BE SHARED.
 *** 6 OF THE PROPOSED SURFACE PARKING SPACES ARE ADA PARKING SPACES.

PARKING DESIGNATION

GUEST PARKING

ALL PARKING NOT DEDICATED TO GUEST AND/OR ADA PARKING IS DESIGNATED AS ASSIGNED RESIDENT PARKING.



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARKING AND SIGNING PLAN

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004
 SHEET **9** OF **52**

Plotted: Dec 12, 2018 - 7:15am
 Final
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 Layout Name: PARKING

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

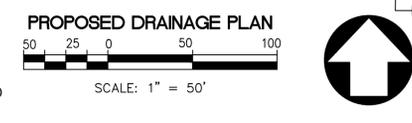
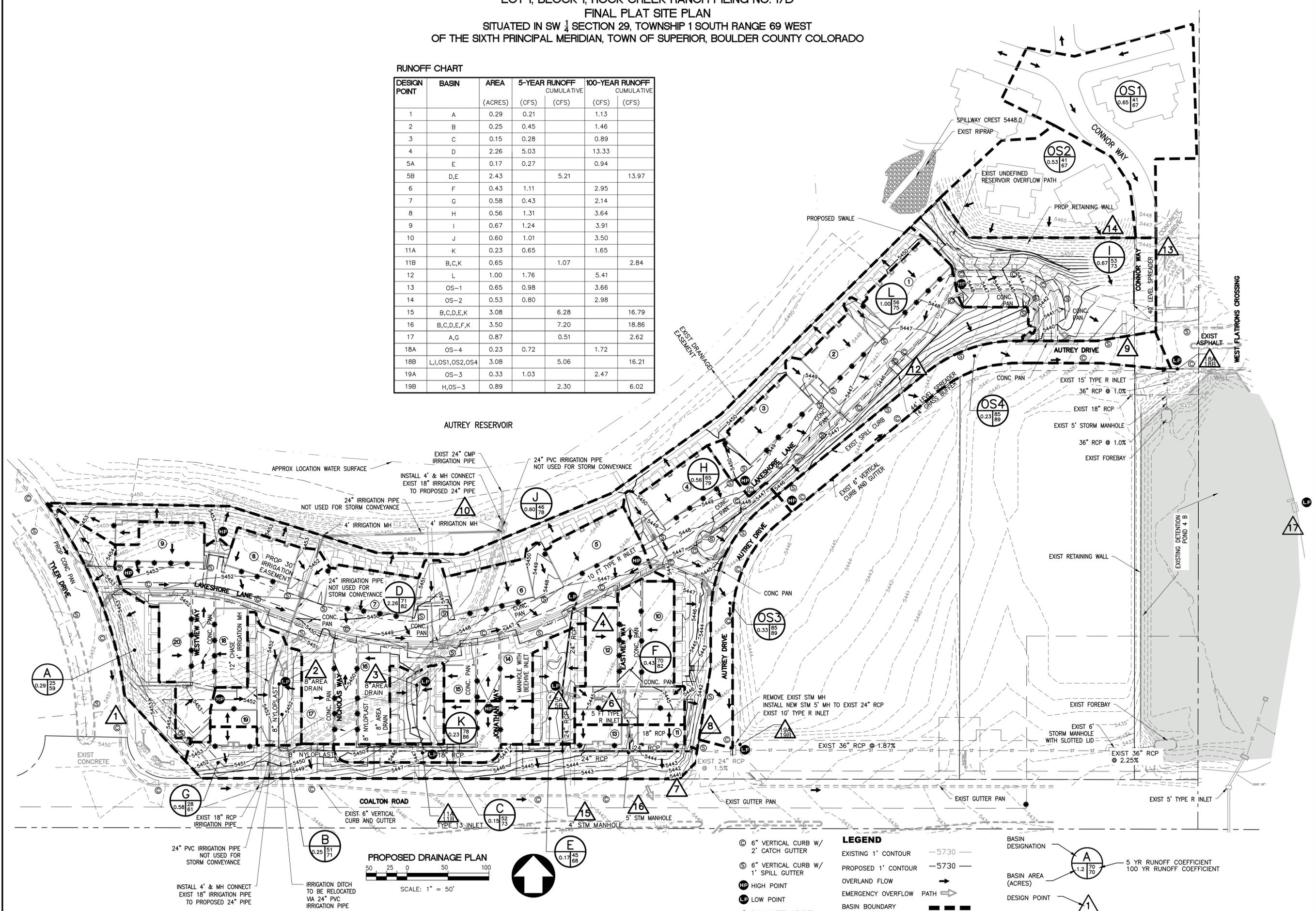
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RUNOFF CHART

DESIGN POINT	BASIN	AREA (ACRES)	5-YEAR RUNOFF (CFS)	100-YEAR RUNOFF (CFS)
1	A	0.29	0.21	1.13
2	B	0.25	0.45	1.46
3	C	0.15	0.28	0.89
4	D	2.26	5.03	13.33
5A	E	0.17	0.27	0.94
5B	D,E	2.43	5.21	13.97
6	F	0.43	1.11	2.95
7	G	0.58	0.43	2.14
8	H	0.56	1.31	3.64
9	I	0.67	1.24	3.91
10	J	0.60	1.01	3.50
11A	K	0.23	0.65	1.65
11B	B,C,K	0.65	1.07	2.84
12	L	1.00	1.76	5.41
13	OS-1	0.65	0.98	3.66
14	OS-2	0.53	0.80	2.98
15	B,C,D,E,K	3.08	6.28	16.79
16	B,C,D,E,F,K	3.50	7.20	18.86
17	A,G	0.87	0.51	2.62
18A	OS-4	0.23	0.72	1.72
18B	L, OS1, OS2, OS4	3.08	5.06	16.21
19A	OS-3	0.33	1.03	2.47
19B	H, OS-3	0.89	2.30	6.02



- LEGEND**
- ⊙ 6" VERTICAL CURB W/ 2' CATCH GUTTER
 - ⊙ 6" VERTICAL CURB W/ 1' SPILL GUTTER
 - HP HIGH POINT
 - LP LOW POINT
 - ★ RAIN WATER LEADER
 - 5730 — EXISTING 1' CONTOUR
 - 5730 — PROPOSED 1' CONTOUR
 - OVERLAND FLOW
 - EMERGENCY OVERFLOW PATH
 - BASIN BOUNDARY
 - ⊙ BASIN DESIGNATION
 - ⊙ BASIN AREA (ACRES)
 - ⊙ DESIGN POINT
 - ⊙ 5 YR RUNOFF COEFFICIENT
 - ⊙ 100 YR RUNOFF COEFFICIENT

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
OVERALL DRAINAGE PLAN

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY:
 CHECKED BY:
 PROJECT NO. 171004
 SHEET **10** OF **52**

Plotted: Dec 12, 2018 - 7:18am
 Final F:\03_Projects\171004_Superior Shores\05_CADD\DRAINAGE_Plan.dwg Layout Name: DRAINAGE PLAN

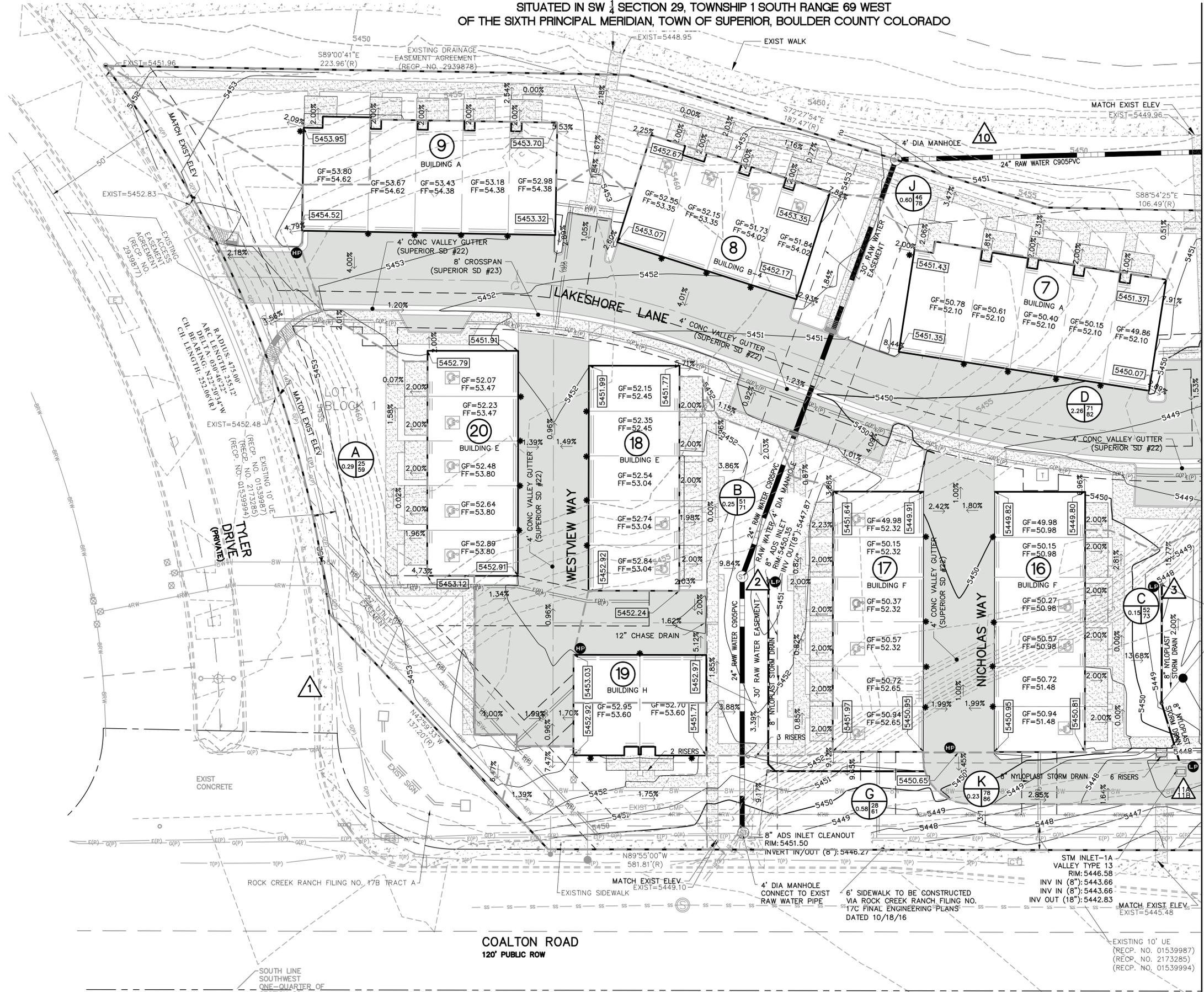
SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

VESTED RIGHTS:
 THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DESIGNED IN SECTION 24-68-101, ET, SEQ, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____ 20____.

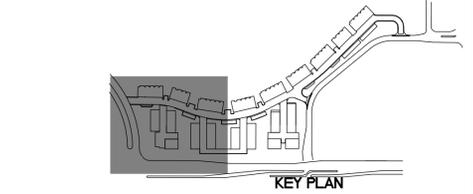
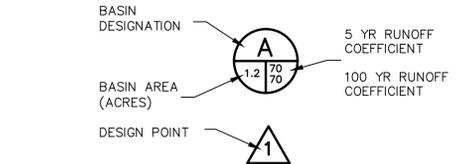
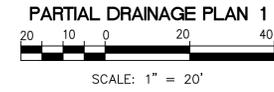


LEGEND

- PROPERTY LINE
- x-x- EXIST FENCE
- (P)- EXIST CONTOUR
- (E)- EXIST ELECTRIC
- (T)- EXIST TELEPHONE
- (G)- EXIST GAS
- ST-ST- EXIST STORM SEWER
- ⊕ EXIST STORM MANHOLE
- SS-SS- EXIST SANITARY SEWER
- ⊕ EXIST SANITARY MANHOLE
- W-W- EXIST POTABLE WATER LINE
- RW-RW- EXIST RECLAIMED WATER LINE
- ⊕ GATE VALVE
- ⊕ FIRE HYDRANT
- SS- STORM SEWER
- SS- SANITARY SEWER
- W- DOMESTIC WATER
- B- BUILDING
- D- BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX- 1 FT CONTOUR
- XX- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- ⊕ STORM MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ CURB STOP
- ⊕ WATER METER
- ⊕ ADA PARKING
- ⊕ LIGHTING SEE LANDSCAPE
- ⊕ PARKING SPACE COUNT
- ⊕ MEDIAN CURB (12") SD#21
- ⊕ VERTICAL CURB (24") SD#21
- - - BUILDING FENESTRATION (NON-CONDITIONED SPACE)
- - - BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN FENESTRATIONS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- ⊕ BUILDING NUMBER
- ⊕ TRANSFORMER
- IRRIGATION
- ⊕ ADA ACCESSIBLE UNIT
- ⊕ GAS LINE
- ⊕ BOUNDARY
- ⊕ HIGH POINT
- ⊕ LOW POINT
- ⊕ RAIN WATER LEADER



MATCHLINE SEE SHEET 12



Printed: Dec 12, 2018 - 7:19am Final F:\03_Projects\171004_Superior Shores\05_CADD\PARTIAL DRAINAGE PLAN.dwg Layout Name: DRAW 1

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL DRAINAGE PLAN 1

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004
 SHEET 11 OF 52

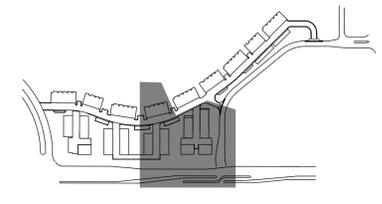
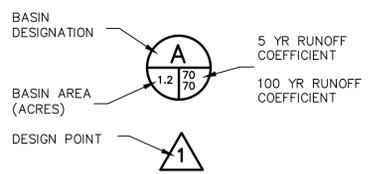
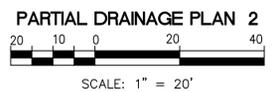
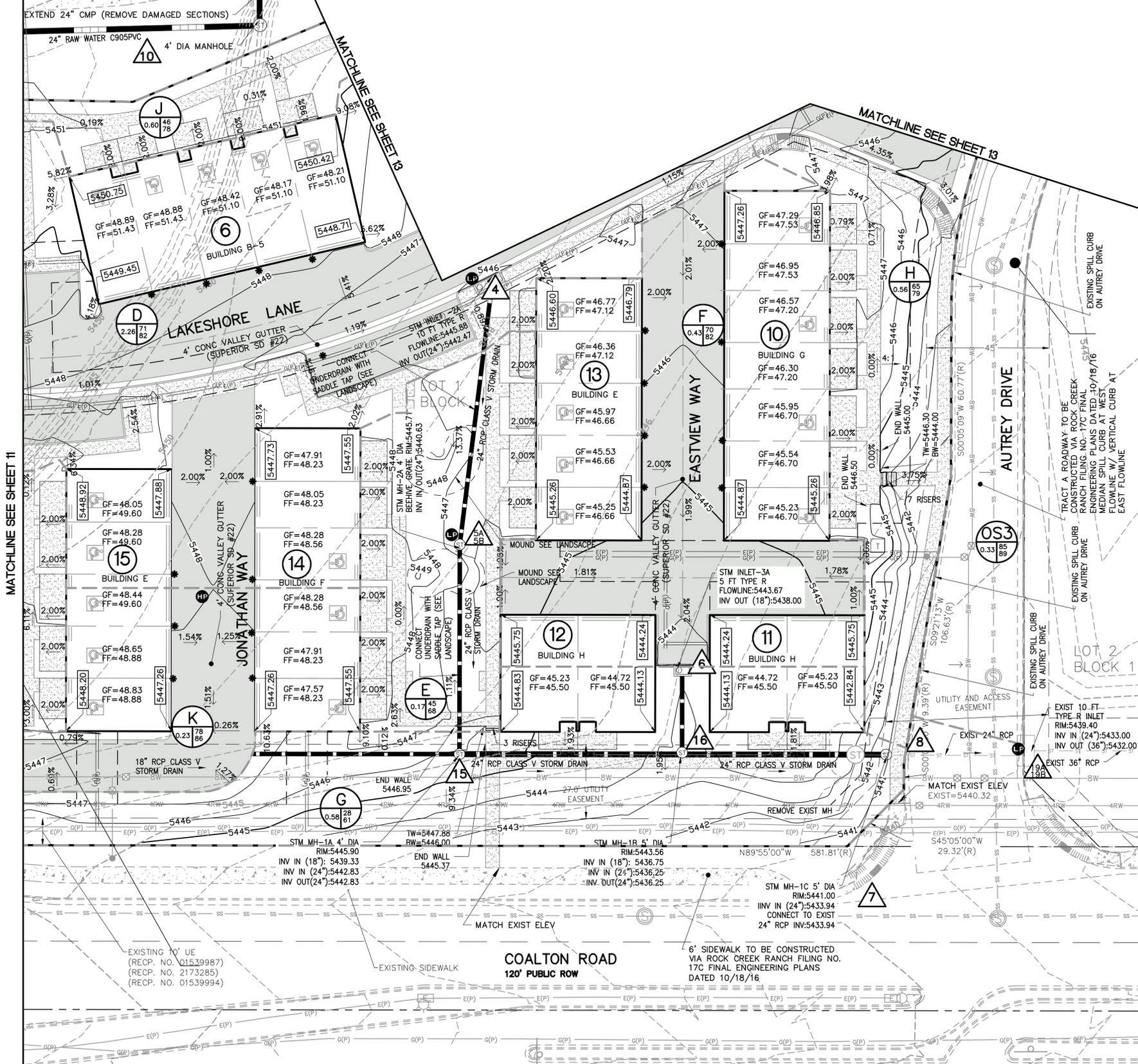
SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

VESTED RIGHTS:
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LEGEND

- N89°24'W — PROPERTY LINE
- X — EXIST FENCE
- (CP) — EXIST CONTOUR
- (EP) — EXIST ELECTRIC
- (TP) — EXIST TELEPHONE
- (GP) — EXIST GAS
- ST — EXIST STORM SEWER
- SS — EXIST STORM MANHOLE
- SS — EXIST SANITARY SEWER
- (SM) — EXIST SANITARY MANHOLE
- (PW) — EXIST POTABLE WATER LINE
- (RW) — EXIST RECLAIMED WATER LINE
- [Symbol] — GATE VALVE
- [Symbol] — FIRE HYDRANT
- [Symbol] — STORM SEWER
- [Symbol] — SANITARY SEWER
- [Symbol] — DOMESTIC WATER
- [Symbol] — BUILDING
- [Symbol] — BUILDING DOOR
- X.X% FINISHED SLOPE
- [Symbol] GROUND ELEVATION OUTSIDE
- XX — 1 FT CONTOUR
- XX — 5 FT CONTOUR
- [Symbol] CONCRETE
- [Symbol] ASPHALT
- [Symbol] INLET
- [Symbol] STORM MANHOLE
- [Symbol] SANITARY MANHOLE
- [Symbol] CURB STOP
- [Symbol] WATER METER
- [Symbol] ADA PARKING
- [Symbol] LIGHTING SEE LANDSCAPE
- [Symbol] PARKING SPACE COUNT
- [Symbol] MEDIAN CURB (12") SD#21
- [Symbol] VERTICAL CURB (24") SD#21
- BUILDING FENESTRATION (NON-CONDITIONED SPACE)
- BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN FENESTRATIONS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- [Symbol] # BUILDING NUMBER
- [Symbol] T TRANSFORMER
- [Symbol] IRRIGATION
- [Symbol] GAS ACCESSIBLE UNIT
- [Symbol] BASIN BOUNDARY
- [Symbol] FT FTICR/24" INF HIGH POINT
- [Symbol] LP LOW POINT
- [Symbol] * RAIN WATER LEADER



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL DRAINAGE PLAN 2

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY:	JWA
DRAWN BY:	JA
CHECKED BY:	TBM
PROJECT NO.	171004

SHEET	12	OF	52
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Plotted: Dec 12, 2018 - 7:20am
 Final F:\03_Projects\171004_Superior Shores\05_CADD\PARTIAL DRAINAGE PLAN.dwg Layout Name: DRAN 2

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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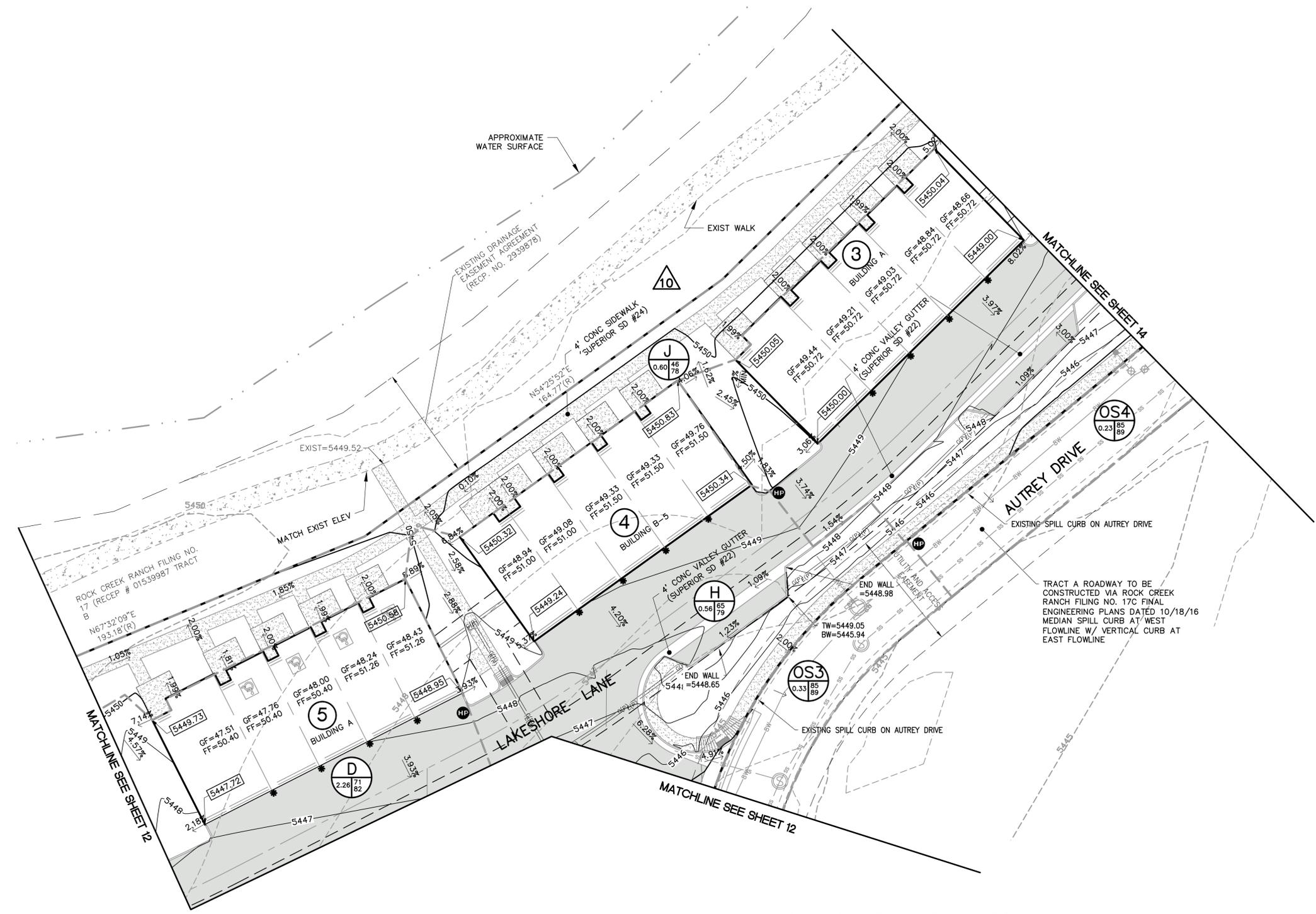


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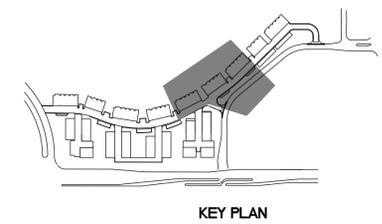
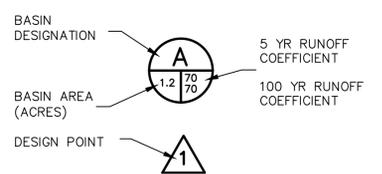
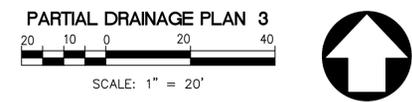
LEGEND

- N60°45'W — PROPERTY LINE
- - - - - EXIST FENCE
- - - - - EXIST CONTOUR
- (EP) — EXIST ELECTRIC
- (TP) — EXIST TELEPHONE
- (GP) — EXIST GAS
- (ST) — EXIST STORM SEWER
- (SM) — EXIST STORM MANHOLE
- (SS) — EXIST SANITARY SEWER
- (SMH) — EXIST SANITARY MANHOLE
- (PW) — EXIST POTABLE WATER LINE
- (RW) — EXIST RECLAIMED WATER LINE
- (GV) — GATE VALVE
- (FH) — FIRE HYDRANT
- (SS) — STORM SEWER
- (SS) — SANITARY SEWER
- (VW) — DOMESTIC WATER
- (B) — BUILDING
- (D) — BUILDING DOOR
- X.X% — FINISHED SLOPE
- 5448.52 — GROUND ELEVATION OUTSIDE
- XX — 1 FT CONTOUR
- XX — 5 FT CONTOUR
- (C) — CONCRETE
- (A) — ASPHALT
- (I) — INLET
- (SM) — STORM MANHOLE
- (SMH) — SANITARY MANHOLE
- (CS) — CURB STOP
- (W) — WATER METER
- (P) — ADA PARKING
- (L) — LIGHTING SEE LANDSCAPE
- (T) — PARKING SPACE COUNT
- (M) — MEDIAN CURB (12") SD#21
- (V) — VERTICAL CURB (24") SD#21
- (B) — BUILDING FENESTRATION (NON-CONDITIONED SPACE)
- (O) — BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) — MEASURED DISTANCE BETWEEN FENESTRATIONS
- X' (O) — MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL — MEASURED DISTANCE FLOWLINE TO FLOWLINE
- (B) — BUILDING NUMBER
- (T) — TRANSFORMER
- (I) — IRRIGATION
- (A) — ADA ACCESSIBLE UNIT
- (G) — GAS LINE
- (E) — ELECTRICAL LINE
- (HP) — HIGH POINT
- (LP) — LOW POINT
- (R) — RAIN WATER LEADER

GF = GARAGE FLOOR ELEVATION AT DRIVE
 FF = FINISH FLOOR ELEVATION



TRACT A ROADWAY TO BE CONSTRUCTED VIA ROCK CREEK RANCH FILING NO. 17C FINAL ENGINEERING PLANS DATED 10/18/16 MEDIAN SPILL CURB AT WEST FLOWLINE W/ VERTICAL CURB AT EAST FLOWLINE



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL DRAINAGE PLAN 3

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY:	JWA
DRAWN BY:	JA
CHECKED BY:	TBM
PROJECT NO.	171004
SHEET	13
OF	52

Plotted: Dec 12, 2018 - 7:20am
 Final F:\03_Projects\171004_Superior Shores\05_CAD\PARTIAL DRAINAGE PLAN.dwg Layout Name: DRAWN 3

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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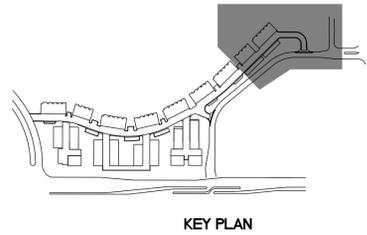
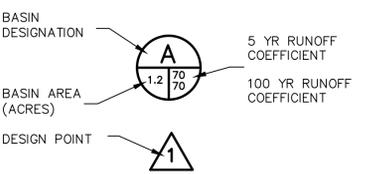
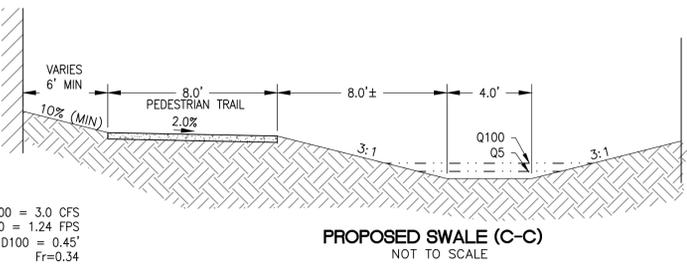
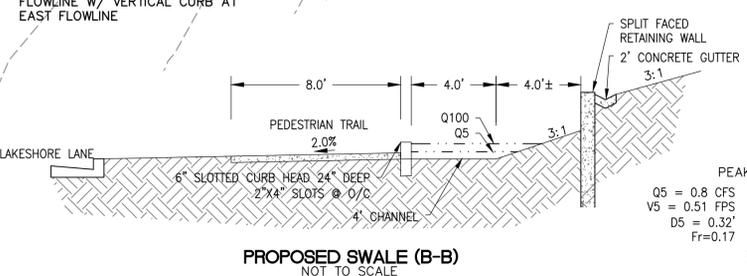
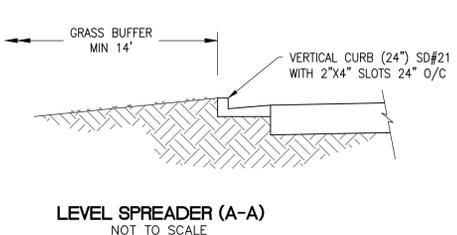
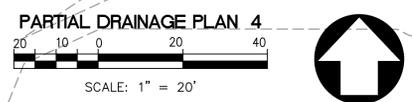
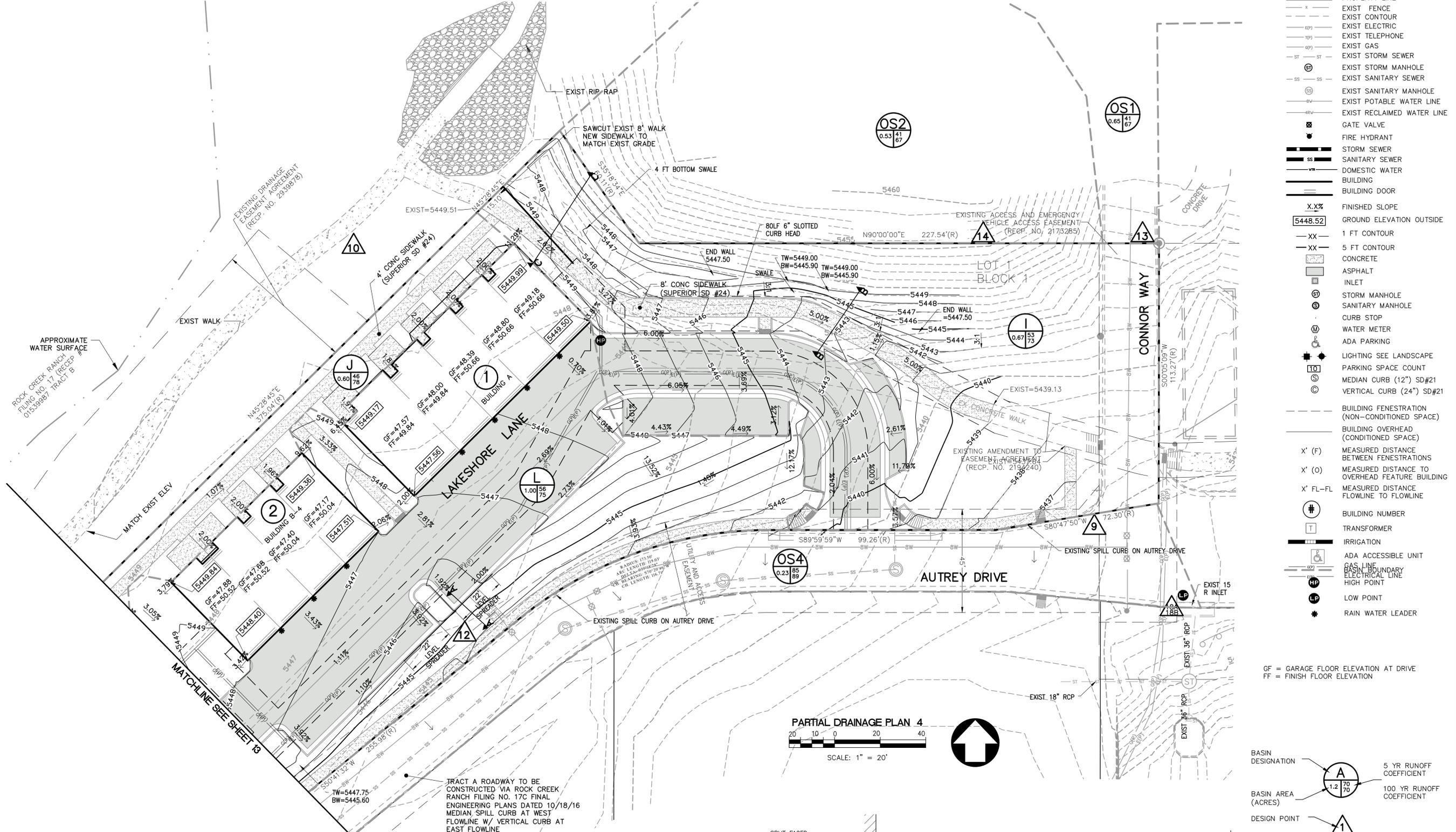


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LEGEND

- N90°45'W — PROPERTY LINE
- X — EXIST FENCE
- (CP) — EXIST CONTOUR
- (EP) — EXIST ELECTRIC
- (GP) — EXIST GAS
- (ST) — EXIST TELEPHONE
- (SS) — EXIST STORM SEWER
- (SM) — EXIST STORM MANHOLE
- (SS) — EXIST SANITARY SEWER
- (SM) — EXIST SANITARY MANHOLE
- (PW) — EXIST POTABLE WATER LINE
- (RW) — EXIST RECLAIMED WATER LINE
- (GV) — GATE VALVE
- (FH) — FIRE HYDRANT
- (SS) — STORM SEWER
- (SS) — SANITARY SEWER
- (VM) — DOMESTIC WATER
- (B) — BUILDING
- (D) — BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX — 1 FT CONTOUR
- XX — 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- STORM MANHOLE
- SANITARY MANHOLE
- CURB STOP
- WATER METER
- ADA PARKING
- LIGHTING SEE LANDSCAPE
- PARKING SPACE COUNT
- MEDIAN CURB (12") SD#21
- VERTICAL CURB (24") SD#21
- (F) — BUILDING FENESTRATION (NON-CONDITIONED SPACE)
- (O) — BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN FENESTRATIONS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- # BUILDING NUMBER
- T TRANSFORMER
- IRRIGATION
- ADA ACCESSIBLE UNIT
- GAS LINE
- BASIN BOUNDARY
- ELECTRICAL LINE
- HIGH POINT
- LOW POINT
- * RAIN WATER LEADER

GF = GARAGE FLOOR ELEVATION AT DRIVE
 FF = FINISH FLOOR ELEVATION



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL DRAINAGE PLAN 4

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/10/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY:	JWA
DRAWN BY:	JA
CHECKED BY:	TBM
PROJECT NO.	171004
SHEET	14
OF	52

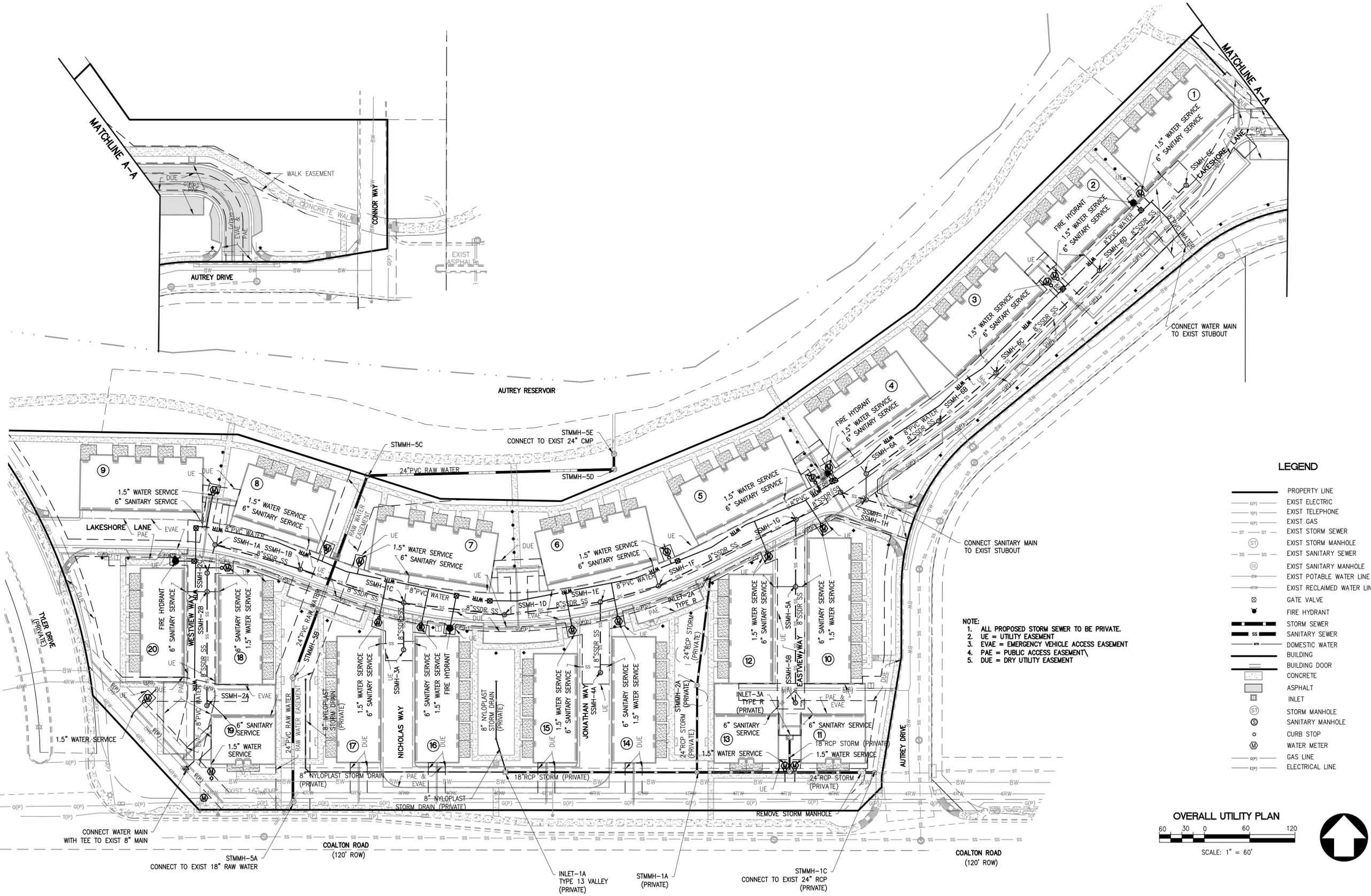
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SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW ¼ SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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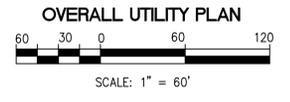
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 WHEAT RIDGE, CO 80033
 303.840.4742
 www.tjconsultant.com



LEGEND

- PROPERTY LINE
- (EP)— EXIST ELECTRIC
- (TP)— EXIST TELEPHONE
- (GP)— EXIST GAS
- (ST)— EXIST STORM SEWER
- (SS)— EXIST SANITARY MANHOLE
- (SS)— EXIST SANITARY SEWER
- (SM)— EXIST SANITARY MANHOLE
- (PW)— EXIST POTABLE WATER LINE
- (RW)— EXIST RECLAIMED WATER LINE
- (GV)— GATE VALVE
- (FH)— FIRE HYDRANT
- (SS)— STORM SEWER
- (SS)— SANITARY SEWER
- (DW)— DOMESTIC WATER
- (B)— BUILDING
- (BD)— BUILDING DOOR
- (C)— CONCRETE
- (A)— ASPHALT
- (I)— INLET
- (SM)— STORM MANHOLE
- (SM)— SANITARY MANHOLE
- (CS)— CURB STOP
- (M)— WATER METER
- (G)— GAS LINE
- (EP)— ELECTRICAL LINE

- NOTE:**
1. ALL PROPOSED STORM SEWER TO BE PRIVATE.
 2. UE = UTILITY EASEMENT
 3. EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
 4. PAE = PUBLIC ACCESS EASEMENT
 5. DUE = DRY UTILITY EASEMENT



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
OVERALL UTILITY PLAN

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004

Plotted: Dec 12, 2018 - 7:28am
 F:\03_Projects\171004_Superior Shores\05_CAD\Overall Utility Plan.dwg Layout Name: F:\03_Overall Utility

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
 SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

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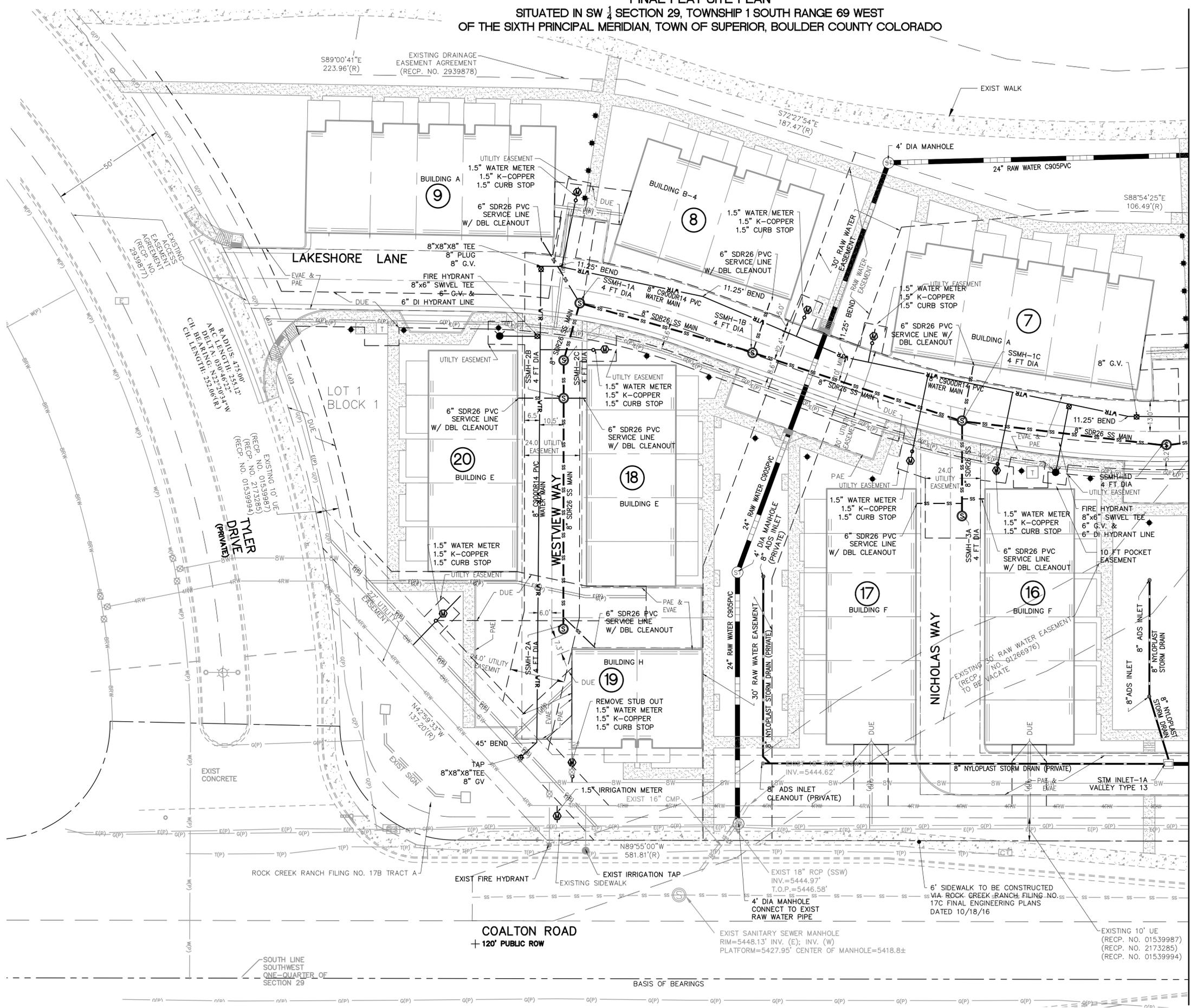
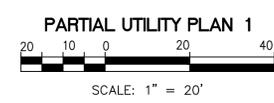


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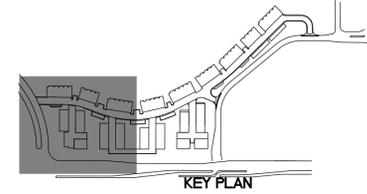
LEGEND

- PROPERTY LINE
- x- EXIST FENCE
- o- EXIST CONTOUR
- e- EXIST ELECTRIC
- t- EXIST TELEPHONE
- g- EXIST GAS
- st-st- EXIST STORM SEWER
- ss-ss- EXIST SANITARY SEWER
- s- EXIST SANITARY MANHOLE
- p- EXIST POTABLE WATER LINE
- r- EXIST RECLAIMED WATER LINE
- ⊠ GATE VALVE
- ⊙ FIRE HYDRANT
- ⊞ STORM SEWER
- ⊞ SANITARY SEWER
- ⊞ DOMESTIC WATER
- ⊞ BUILDING
- ⊞ BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX- 1 FT CONTOUR
- XX- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- ⊞ STORM MANHOLE
- ⊞ SANITARY MANHOLE
- ⊞ CURB STOP
- ⊞ WATER METER
- ⊞ ADA PARKING
- ⊞ LIGHTING SEE LANDSCAPE
- ⊞ PARKING SPACE COUNT
- ⊞ MEDIAN CURB (12") SD#21
- ⊞ VERTICAL CURB (24") SD#21
- - - BUILDING FENESTRATION (NON-CONDITIONED SPACE)
- - - BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN FENESTRATIONS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- ⊞ BUILDING NUMBER
- ⊞ TRANSFORMER
- ⊞ IRRIGATION
- ⊞ ADA ACCESSIBLE UNIT
- ⊞ GAS LINE
- ⊞ ELECTRICAL LINE

- NOTE:**
1. ALL PROPOSED STORM SEWER TO BE PRIVATE.
 2. UE = UTILITY EASEMENT
 3. EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
 4. PAE = PUBLIC ACCESS EASEMENT
 5. DUE = DRY UTILITY EASEMENT



MATCHLINE SEE SHEET 17



Printed: Dec 12, 2018 7:32am Final F:\03_Projects\171004_Superior Shores\05_CADD\PARTIAL UTILITY PLAN.dwg Layout Name: UTILITY 1

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL UTILITY PLAN 1

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY:	JWA
DRAWN BY:	JA
CHECKED BY:	TBM
PROJECT NO.	171004
SHEET	16
OF	52

SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

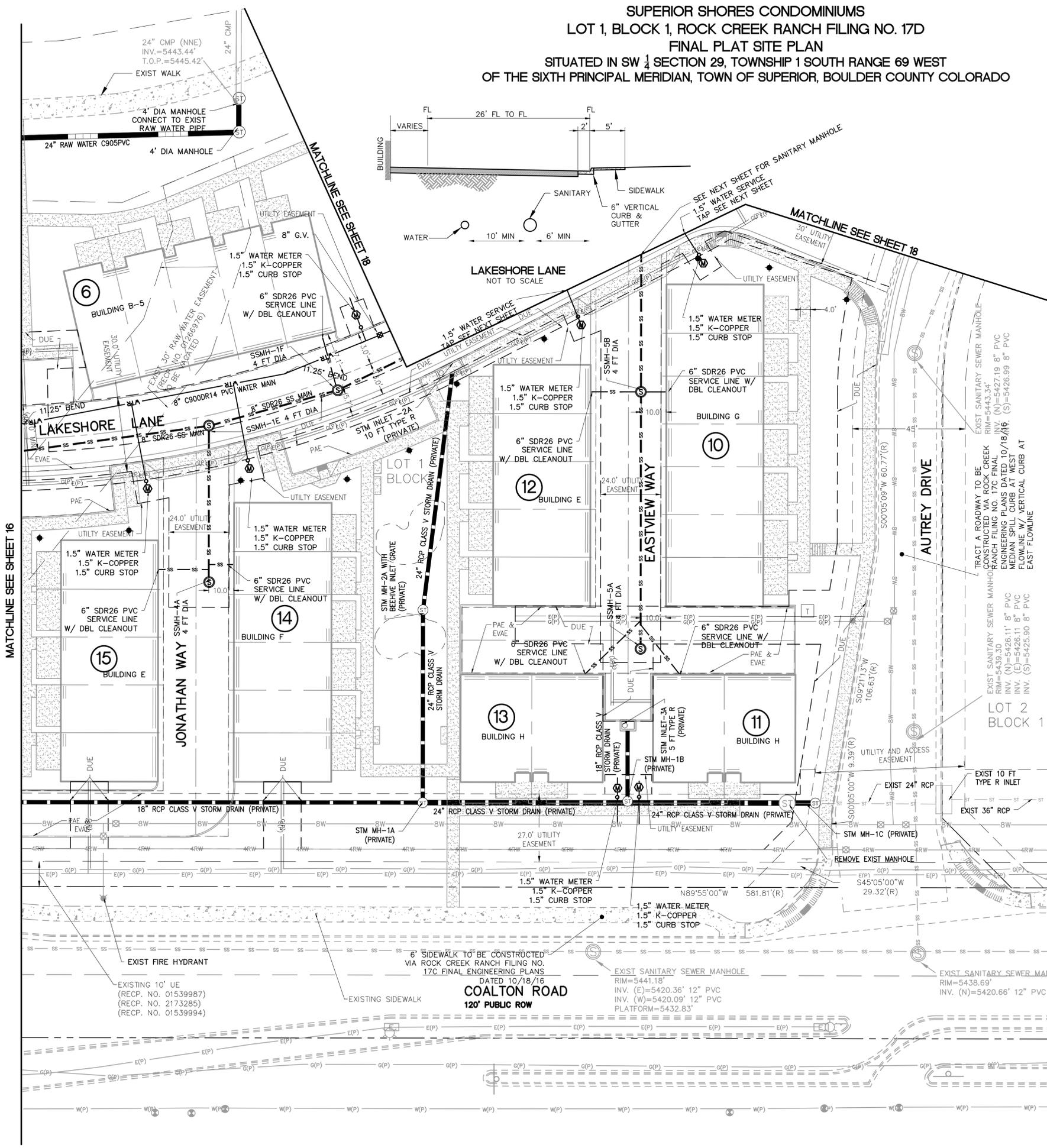
VESTED RIGHTS:
 THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DESIGNED IN SECTION 24-68-101, ET, SEQ, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____ 20____.



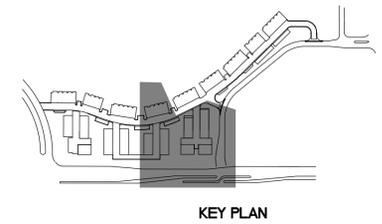
LEGEND

- N80°45'W— PROPERTY LINE
- - - - - EXIST FENCE
- - - - - EXIST CONTOUR
- (EP)--- EXIST ELECTRIC
- (TP)--- EXIST TELEPHONE
- (GP)--- EXIST GAS
- (ST)--- EXIST STORM SEWER
- (SS)--- EXIST SANITARY SEWER
- (SM)--- EXIST SANITARY MANHOLE
- (PW)--- EXIST POTABLE WATER LINE
- (RW)--- EXIST RECLAIMED WATER LINE
- (GV)--- GATE VALVE
- (FH)--- FIRE HYDRANT
- (SS)--- STORM SEWER
- (SS)--- SANITARY SEWER
- (VW)--- DOMESTIC WATER
- (B)--- BUILDING
- (D)--- BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX--- 1 FT CONTOUR
- XX--- 5 FT CONTOUR
- (C)--- CONCRETE
- (A)--- ASPHALT
- (I)--- INLET
- (SM)--- STORM MANHOLE
- (SM)--- SANITARY MANHOLE
- (CS)--- CURB STOP
- (M)--- WATER METER
- (A)--- ADA PARKING
- (L)--- LIGHTING SEE LANDSCAPE
- (P)--- PARKING SPACE COUNT
- (M)--- MEDIAN CURB (12") SD#21
- (C)--- CURB (24") SD#21
- (F)--- BUILDING FENESTRATION (NON-CONDITIONED SPACE)
- (O)--- BUILDING OVERHEAD (CONDITIONED SPACE)
- X' (F) MEASURED DISTANCE BETWEEN FENESTRATIONS
- X' (O) MEASURED DISTANCE TO OVERHEAD FEATURE BUILDING
- X' FL-FL MEASURED DISTANCE FLOWLINE TO FLOWLINE
- (B)--- BUILDING NUMBER
- (T)--- TRANSFORMER
- (I)--- IRRIGATION
- (A)--- ADA ACCESSIBLE UNIT
- (G)--- GAS LINE
- (E)--- ELECTRICAL LINE

- NOTE:**
1. ALL PROPOSED STORM SEWER TO BE PRIVATE.
 2. UE = UTILITY EASEMENT
 3. EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
 4. PAE = PUBLIC ACCESS EASEMENT
 5. DUE = DRY UTILITY EASEMENT



PARTIAL UTILITY PLAN 2
 SCALE: 1" = 20'



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL UTILITY PLAN 2

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/17/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004

P:\171004_171004_Superior Shores\171004_Partial Utility Plan.dwg Layout Name: UTILITY 2
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 Plotted: Dec 12, 2018 7:37am

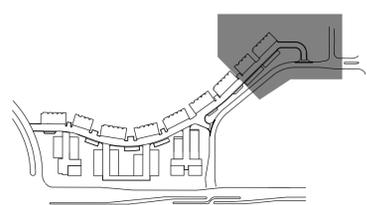
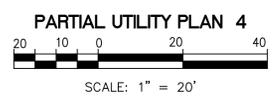
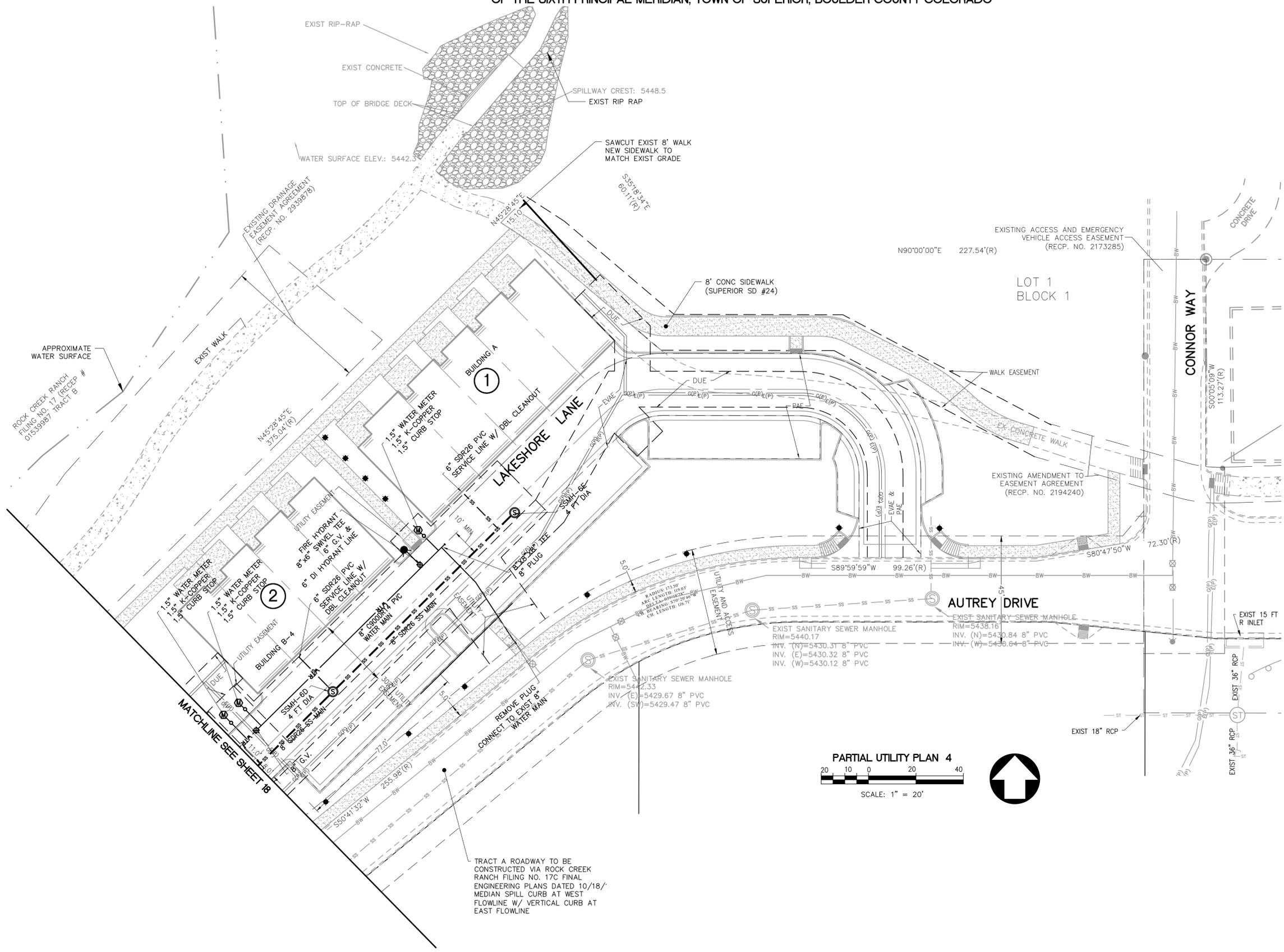
SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
SITUATED IN SW 1/4 SECTION 29, TOWNSHIP 1 SOUTH RANGE 69 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF SUPERIOR, BOULDER COUNTY COLORADO

VESTED RIGHTS: THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DESIGNED IN SECTION 24-68-101, ET, SEQ, C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR, COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____ 20____.

LEGEND

- N90°45'W --- PROPERTY LINE
- - - - - EXIST FENCE
- - - - - EXIST CONTOUR
- (EP)--- EXIST ELECTRIC
- (GP)--- EXIST TELEPHONE
- (GP)--- EXIST GAS
- ST--- EXIST STORM SEWER
- SS--- EXIST SANITARY SEWER
- ⊕ EXIST STORM MANHOLE
- ⊕ EXIST SANITARY MANHOLE
- ⊕ EXIST POTABLE WATER LINE
- ⊕ EXIST RECLAIMED WATER LINE
- ⊕ GATE VALVE
- ⊕ FIRE HYDRANT
- SS--- STORM SEWER
- SS--- SANITARY SEWER
- WV--- DOMESTIC WATER
- BD--- BUILDING DOOR
- X.X% FINISHED SLOPE
- 5448.52 GROUND ELEVATION OUTSIDE
- XX--- 1 FT CONTOUR
- XX--- 5 FT CONTOUR
- CONCRETE
- ASPHALT
- INLET
- ⊕ STORM MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ CURB STOP
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- ⊕ ADA PARKING
- ⊕ LIGHTING SEE LANDSCAPE
- ⊕ PARKING SPACE COUNT
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- ⊕ GAS LINE
- ⊕ ELECTRICAL LINE

NOTE:
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 5. DUE = DRY UTILITY EASEMENT



SUPERIOR SHORES CONDOMINIUMS
LOT 1, BLOCK 1, ROCK CREEK RANCH FILING NO. 17D
FINAL PLAT SITE PLAN
PARTIAL UTILITY PLAN 4

MYLARS	11/21/2018
TOWN BOARD	9/14/2018
PLANNING COMMISSION	8/31/2018
TOWN COMMENTS	8/24/2018
TOWN COMMENTS	7/23/2018
REVISED SITE LAYOUT	4/13/2018
2ND SUBMITTAL	10/27/2017
INITIAL SUBMITTAL	6/29/2017

DESIGNED BY: JWA
 DRAWN BY: JA
 CHECKED BY: TBM
 PROJECT NO. 171004

Plotted: Dec 12, 2018 - 7:37am
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