

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.
Cover Sheet

Legal Description:

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing No. 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

Property contains 1.546 acres more or less.

Site Data Table:

Site Area:	Area (sf)	Acres	Percentage	Current Zoning:
Overall Property	67,360	1.546	100.00 %	Planned Development (PD)
Lot 1A	41,472	0.952	61.57 %	
Lot 1B	25,888	0.594	38.43 %	

Land Uses:

Lot 1A, 4 Story Medical Office Building/Flex Space
Gross Floor Area - 62,006 sf.

Lot 1B, 4 Story Parking Garage Structure
Floor Area - 90,280 sf

Land Coverage:

Description	Total Land Coverage						Total			
	Lot 1A		Lot 1B		Sq. Ft.	Acres	Percent	Sq. Ft.	Acres	Percent
	Sq. Ft.	Acres	Percent	Sq. Ft.						
Building Coverage:	16,200	0.372	39.06 %	22,570	0.518	87.18 %	16,200	0.372	24.05 %	
Parking Structure:				54	0.001	0.21 %	22,570	0.518	33.51 %	
Hard Surface Area:	16,970	0.389	40.92 %	17,024	0.391	25.27 %	17,024	0.391	25.27 %	
Landscape Area:	8,302	0.191	20.12 %	3,264	0.075	12.61 %	11,566	26.55	17.17 %	
Totals	41,472	0.952	100.00 %	25,888	0.594	100.00 %	67,360	1.546	100.00 %	

Building Setbacks:

Lot Line Setbacks:	Lot 1A		Lot 1B	
	Distance	Description	Distance	Description
Northerly:	5.1 Feet		15.1 Feet	
Easterly:	10 Feet		1.2 Feet	
Southerly:	39.5 Feet		1.9 Feet	
Westerly:	0 Feet (Superior Drive R.O.W.)		0 Feet	
Maximum Building Height:	62'-0" Building Height (1-4 Stories) Height Variance (above 55' max. requirement was approved through this FDP)		48'-0" Building Height (1-4 Stories)	

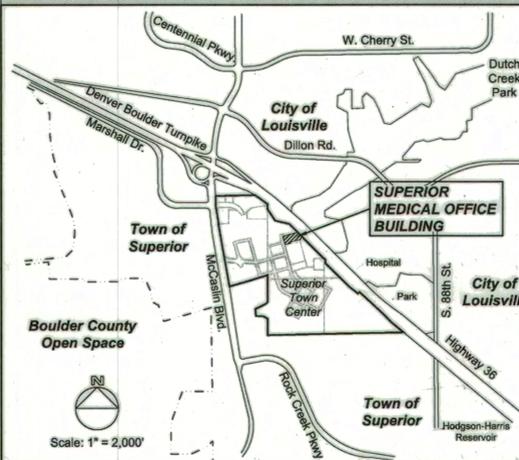
Parking Calculation Table:

STC PD Required Parking:	Offices - 1/330 sf GFA x 62,006 sf = 188 Parking Spaces (ADA Parking = 6 Parking Spaces)	Bicycle Parking = 10% of Required = 19 Spaces
MOB Provided Parking:	Medical Office Building Provided Parking:	
	Parking Structure: = 244 Parking Spaces (ADA Parking - 6 Parking Spaces)	
	Onsite Surface Parking: = 28 Parking Spaces (13 New Sp., 15 Existing Sp.)	
	Total Provided Parking Spaces: = 272 Parking Spaces	28 Bicycle Parking (18 Covered in Garage, 10 Exterior)

Parking Note:

(1) Medical Office Building will be afforded a minimum of 188 parking spaces within parking garage on Lot 1B through required parking agreement. Parking agreement shall be established before a certificate of occupancy may be issued for the medical office building.

Vicinity Map



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Certificate of Ownership

I certify that RC Superior, LLC, a Delaware Limited Liability Company is owner of Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing No. 1B as sole owner of the property and consent to this plan.

In witness whereof we hereunto set our hand this 27 day of July, 2016.

Owner: RC Superior, LLC, a Delaware Limited Liability Company

by: Superior Town Center ASLI VII Holdings, LLC, a Delaware Limited Liability Company, its sole Member

by: Avanti Strategic Land Investors VII, L.L.L.P., a Delaware Limited Liability Limited Partnership, its sole Member

by: Avanti Properties Group II, L.L.L.P., a Delaware Limited Liability Limited Partnership, its Managing General Partner

by: Avanti Management Corporation, a Florida Corporation, its sole General Partner

By: [Signature]
Name: MARVIN SHAPIRO Title: President

NOTARY:
STATE OF Florida
County of Orange

The foregoing certificate of ownership was acknowledged before me this 27 day of July, 2016 by Marvin Shapiro as President.

My commission expires May 28, 2019 (Seal)

Notary Public: [Signature]



Vested Rights:

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Planning Commission Certificate:

Recommended for approval this 17th day of May, 2016, by the Town of Superior Planning Commission, Resolution PC-7, Series 2016.

Board of Trustees Certificate:

Approved by the Board of Trustees of the Town of Superior, State of Colorado. Witness my hand with the corporate seal of the Town of Superior this 1st day of August, 2016.

ATTEST:

[Signature]
Phyllis L. Hardin, Town Clerk

[Signature]
Mayor

Town Clerk Certificate:

I hereby certify that this instrument as approved by (Resolution/Ordinance) No. R-36, Series 2016, on this 6th day of June, 2016.

[Signature]
Town Clerk

Civil Engineer:

WBC Engineering & CM, LLC
P.O. Box 460625
Aurora, CO 80046-0625
303-365-9825 office
303-365-9827 fax
www.wbceng.com
Contact: Alan Bronson
Managing Member
abronson@wbceng.com
Civil Engineering, Structural Engineering
Land Planning, Construction Management

Applicant:

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Contact: Clay Sammis

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Superior, CO 80027

Prepared For:

DSP Builders, Inc.
12000 E. 47th Ave, Suite 201
Denver, Colorado 80239
303-289-0666 Office
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303-289-6918 Fax
Contact: Robert Krull
Project Manager
robert@dspbuilders.com

Land Surveyor:

King Surveyors, Inc.
650 East Garden Dr.
Windsor, CO 80550
phone: 970-686-5011
fax: 970-686-5821
Contact:

Architect:

Intergroup Architects
2000 W. Littleton Blvd.
Littleton, CO 80120
Phone: 303-738-8877
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Contact: Bill Smith

Revisions:

No.	Date	Description
1	07/27/16	Date of Preparation
2	07/27/16	1st Submittal Comments
3	04/29/16	2nd Submittal Comments
4	05/10/16	3rd Submittal Comments
5	05/25/16	PC Resolution Comments
6	06/30/16	Rev. Clerk Certificate
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Project Title:

**SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT PLAN
FOR SUPERIOR
MEDICAL OFFICE
BUILDING**

SHEET DATA:

H. SCALE: N/A
V. SCALE: N/A
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DSN. BY: ADB
CHK. BY: SFW

Date: **07/27/16**

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COVER SHEET

Sheet No.:

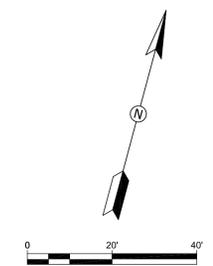
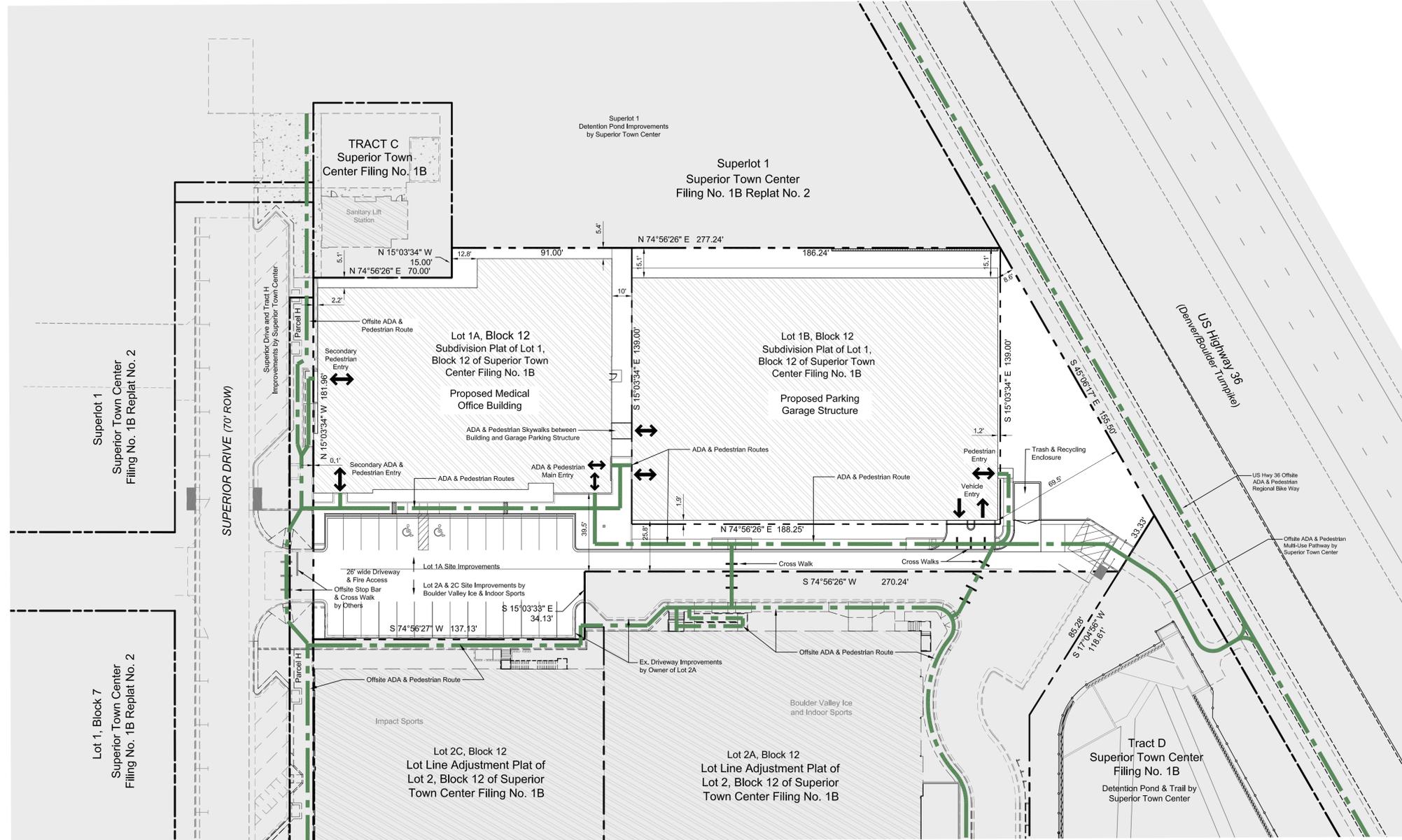
1 of 17

Project No. **WB0661-2**

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

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Context Site Plan



Civil Engineer:
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 P.O. Box 450625
 Aurora, CO, 80046-0625
 303-365-9825 office
 303-365-9827 fax
 www.wbceng.com
 Contact: Alan Bronson
 Managing Member
 abronson@wbceng.com

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 robertk@dspbuilders.com

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 fax: 970-686-5921
 Contact:

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CHK. BY:	SFW

Date 07/27/16

Sheet Title:
CONTEXT SITE PLAN

Sheet No.
 2 of 17

Project No. WB0661-2

Plan Abbreviations

Abbreviation	Description
ac.	Acre, Acres, Acreage
ADA	American Disabilities Act
E	East
Ex.	Existing
HWY	Highway
N	North
No.	Number
S	South
sf.	Square Feet
U.S.	United States
W	West

Line Type Legend

Line Type	Description
—	Property Line
- - - - -	Construction / Improvement Limits
— · — · —	Pedestrian Route
- · - · -	Curb, Gutter & Walk by Others
— · —	Curb, Gutter & Walk

Symbol Legend

Symbol	Description
	Restricted Parking Hatch Pattern
	Building Hatch Pattern
	Property outside limits of FDP Application
	Vehicle Access Route
	ADA & Pedestrian or Pedestrian Route

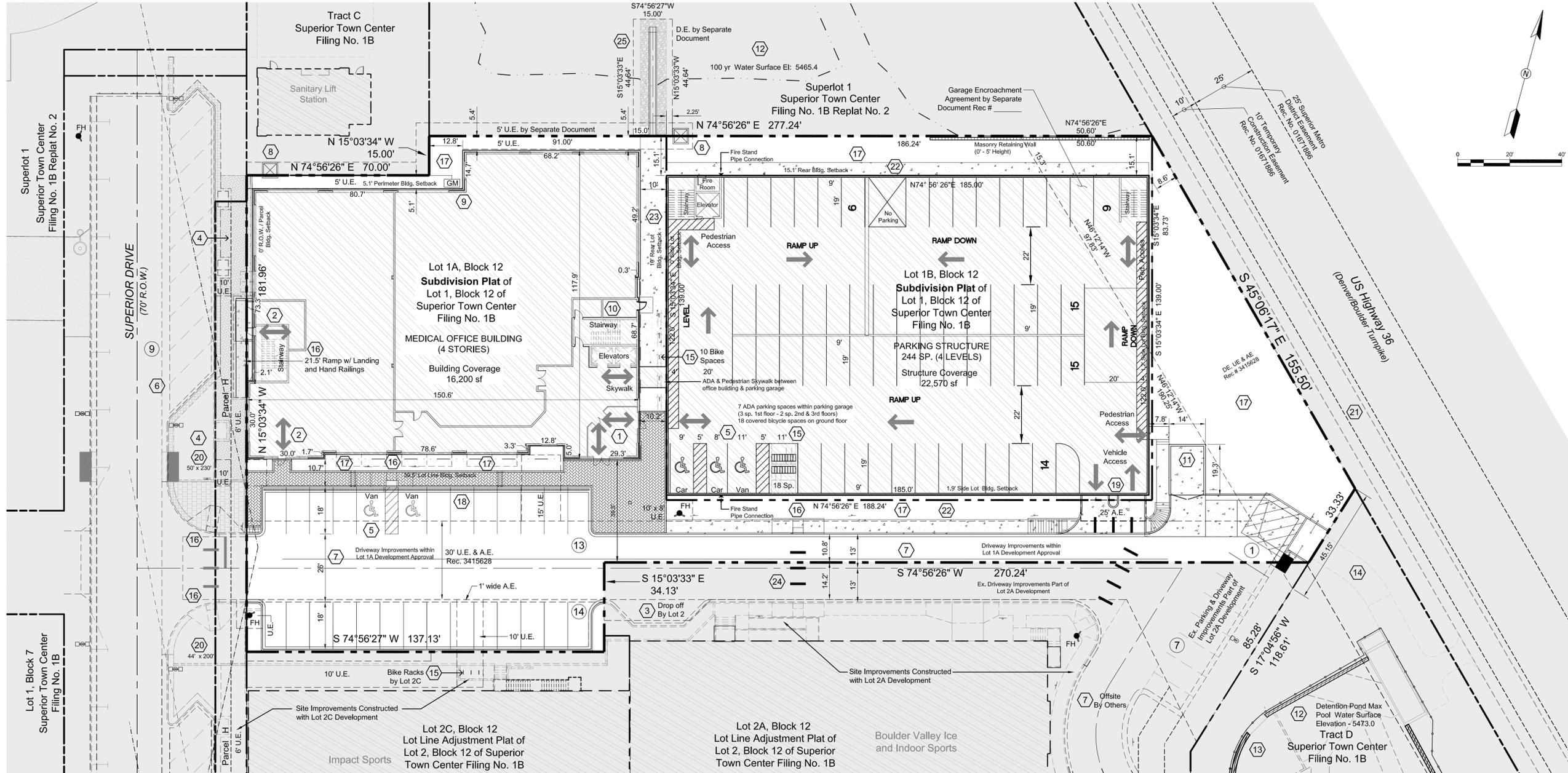
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Site Plan



Easement Abbreviations

D.A.U.E. Drainage, Access & Utility Easement
 A.E. Access Easement
 D.E. Drainage Easement
 U.E. Utility Easement
 P.U.E. Private Utility Easement

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Date **07/27/16**

Sheet Title: **SITE PLAN**

Sheet No. **3 of 17**

Project No. **WB0661-2**

LEGEND

Symbol ID	Description
1	Main Entrance
2	Secondary Entrance
3	Curb Side Passenger Loading by others
4	Street Frontage - Streetscape / Landscaping
5	ADA Parking (Van Accessible)
6	On-Street Parking by Others
7	26' Wide Fire Lane & Driveway
8	Electric Transformer w/ Concrete Pad
9	Gas Meter
10	Fire Suppression System w/ Fire Department Access
11	Trash and Recycling Receptacle Enclosure w/ 8' Masonry Block Walls & Metal Gates
12	Offsite Sub-Regional Stormwater Detention Pond
13	Offsite Retaining Wall by Others

LEGEND

Symbol ID	Description
14	Offsite 10' wide Multi-use Path & Detention Access by Others
15	Bicycle Parking
16	ADA Ramp
17	Landscape Area
18	8" Wide Trench Drain w/ Pedestrian Grating
19	Parking Structure Entry
20	Sight Visibility Triangle
21	Offsite US Hwy 36 Bikeway by Others
22	5' wide Concrete Sidewalk
23	10' wide Concrete Pavement between Structures
24	Mid-Block Cross Walk
25	Drainage Easement w/ Buried Rip-Rap
	Run-down into Detention Pond

Line Type Legend

Line Type	Description
---	Property Line
- - -	Center Line
- . - .	Easement Line
- - - -	Detention 100 yr WSEL
FL	EOA
TBC	TBC
BW	Typical Concrete Curb & Gutter, w/ Paver or Concrete Sidewalk - Varies, (Dashed lines indicate existing condition)

Symbol Legend

Symbol	Description
←	Vehicle Access Route
↔	ADA & Pedestrian or Pedestrian Access Route

Symbol Legend

Symbol	Description
♿	Accessible Parking Space
▨	Restricted Parking
▨	Building Hatch Pattern
▨	Property or Improvements outside limits of this Development Application
▨	Concrete Hatch Pattern
▨	Brick Paver Hatch Pattern
▨	Buried Rip-Rap Run-down
+	Traffic Signage
FH	Fire Hydrant
⌂	Bicycle Parking - 2 Space Rack
⌂	Bicycle Parking - 9 Space Rack

Notes:

- Construction over the Drainage, Utility and Access Easement recorded at reception no. 3415628 is contingent upon approved engineering plans by Town's Public Works and Building departments.
- Fourteen foot (14') wide access for Boulder Valley Ice will remain open through out construction on Lots 1A and 1B.

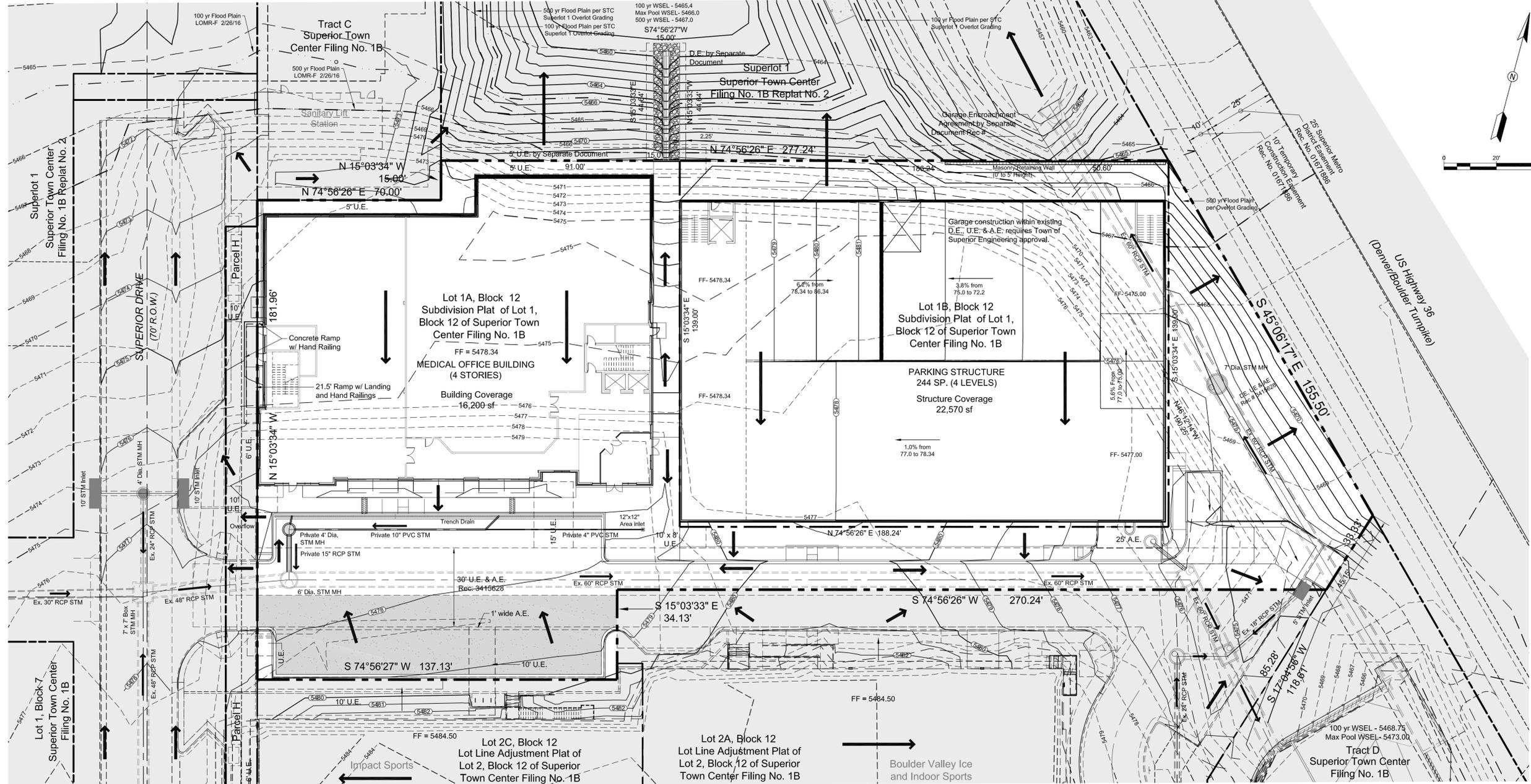
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Drainage Plan



Easement Abbreviations

D.A.U.E.	Drainage, Access & Utility Easement
A.E.	Access Easement
D.E.	Drainage Easement
U.E.	Utility Easement
P.U.E.	Private Utility Easement

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Revisions:

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DRN. BY:	ADB
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CHK. BY:	SFW

Date: **07/27/16**

Sheet Title:

DRAINAGE PLAN

Sheet No.

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Project No. WB0661-2

Plan Abbreviations

Abbreviation	Description
C or Conc.	Concrete
CDOT	Colorado Department of Transportation
E	East
Ex.	Existing
FF.	Finished Floor
MH	Manhole
N	North
No.	Number
RCP	Reinforced Concrete Pipe
Rec.	Reception
R.O.W.	Right of Way
S	South
STM	Storm
W	West
WSEL	Water Surface Elevation
w/	With

Line Type Legend

Line Type	Description
--- 5480 ---	Existing / Interim Grading Contour - Anticipated Grade at Time of Lot Delivery to Builder
--- (5480) ---	Proposed Grading Contour
---	Property Line
---	Center Line
---	Easement Line
---	Detention 100 yr Water Surface Elevation
---	Detention 500 yr Water Surface Elevation
FL	EOA
BW	TBC
	Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing)

Symbol Legend

Line Type	Description
---	Sidewalk Trench Drain w/ Pedestrian Grate
2.00 %	Slope Direction and Grade
←	Drainage Flow Direction
Ex. STM Sewer Pipe Manhole	Existing Storm Sewer Improvements
STM Sewer Pipe Manhole	Proposed Storm Sewer Improvements

Benchmark:
Horizontal and Vertical Control Point: NGS W413, PID - KK1549. Latitude 39°59'13.4", Longitude 105°10'31.3", Orthometric Height 5459.59 feet NAVD 88. Project coordinates established by GPS survey provided by King Surveyors, for this NGS Control Point is North 1,238,828.5250, East 3091940.0750 and Elevation 5459.537 feet NAVD 88.

Basis of Bearings:
The North Sixteenth Corner on the West side of said Section 19, monumented by a 2.5" Brass Rock Cap embedded in a concrete median and stamped "PLS 29761" and assuming the West line of the Southwest Quarter of the Northwest Quarter of said Section 19, monumented at the West Quarter Corner by a 2" Aluminum Pipe with a 2.5" Aluminum Cap stamped "Frank R. Drexel and 2148", to bear South 01°14'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/92, a distance of 1316.98 feet.

Note:

- All drainage design and construction activities shall comply with Chapter 11, Article III of the Superior Municipal Code, Stormwater Drainage.
- Construction over the Drainage, Utility and Access Easement recorded at reception no. 3415628 is contingent upon approved engineering plans by Town's Public Works and Building departments.

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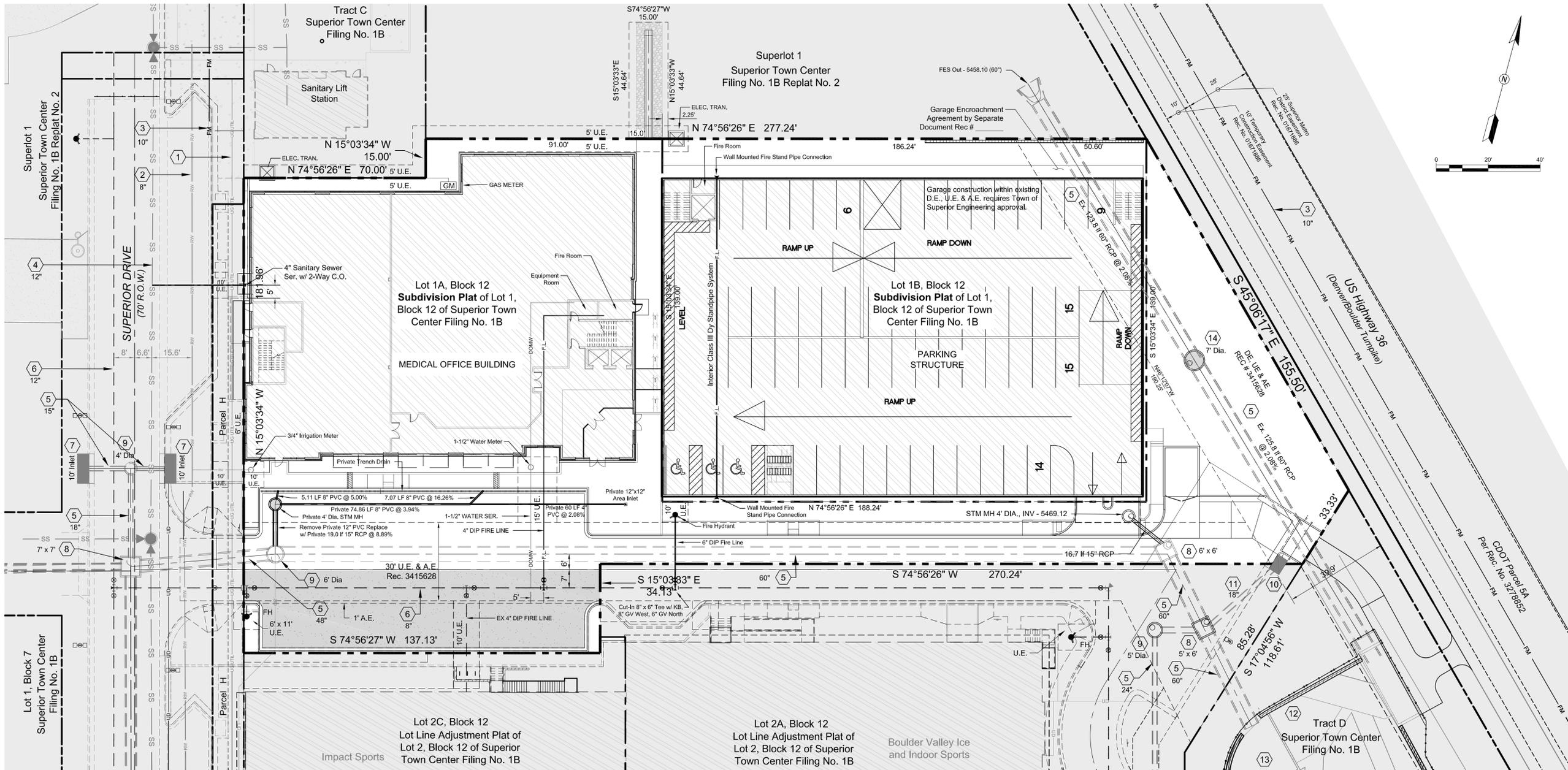
Sheet Title:

**OVERALL
UTILITY PLAN**

Sheet No.

5 of 17

Project No. WB0661-2



Plan Abbreviations

Abbreviation	Description
CDOT	Colorado Department of Transportation
C.O.	Cleanout
Dia.	Diameter
DIP	Ductile Iron Pipe
DOMW	Domestic Water Service
E	East
EL.	Elevation
Elec.	Electric
Ex.	Existing
FES	Flared End Section
FH	Fire Hydrant
GM	Gas Meter
Inv.	Invert
MH	Manhole
N	North
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
S	South
SER.	Service
STM	Storm
Tran.	Transformer
W	West
w/	With

Line Type Legend

Line Type	Description
---	Property Line
---	Center Line
---	Easement Line
SS	Sanitary Sewer
UD	Under Drain
RW	Raw Water
FM	Sanitary Sewer Force Main
UG UTIL.	Under Ground Utility Lines
---	Existing Water Main
DOMW	Domestic Water Service
F.L.	Domestic Water Service
FL	Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing)
EOA	
TBC	

Symbol Legend

Line Type	Description
---	Drainage Concrete Valley Pan
---	Trench Drain w/ Pedestrian Grate
Ex. Sanitary Sewer	Existing Sanitary Sewer Improvements
Ex. STM Sewer	Existing Storm Sewer Improvements
STM Sewer	Storm Sewer Improvements
Ex. Water Main	Existing Water Distribution System
Water Main	Water Distribution System
Fire Hydrant	Fire Hydrant
DOMW - Meter	Domestic Water Service & Meter
RW - Meter	Irrigation Service & Meter

Utility Plan Symbol Legend

Symbol ID	Description
1	Existing Underground Dry Utilities
2	Existing Raw Water Main
3	Existing Forced Sanitary Sewer Main
4	Existing Sanitary Sewer Main
5	Existing Storm Sewer Main Line
6	Existing Water Main
7	Existing 10" Type R Storm Inlet
8	Existing Storm Sewer Box Base Manhole
9	Existing Storm Sewer Manhole
10	Existing 5" Type R Inlet
11	Existing 18" RCP Storm Sewer
12	Existing Retaining Wall
13	Existing Regional Detention & Water Quality Control Pond
14	Proposed 7" Dia. Storm Manhole

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SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

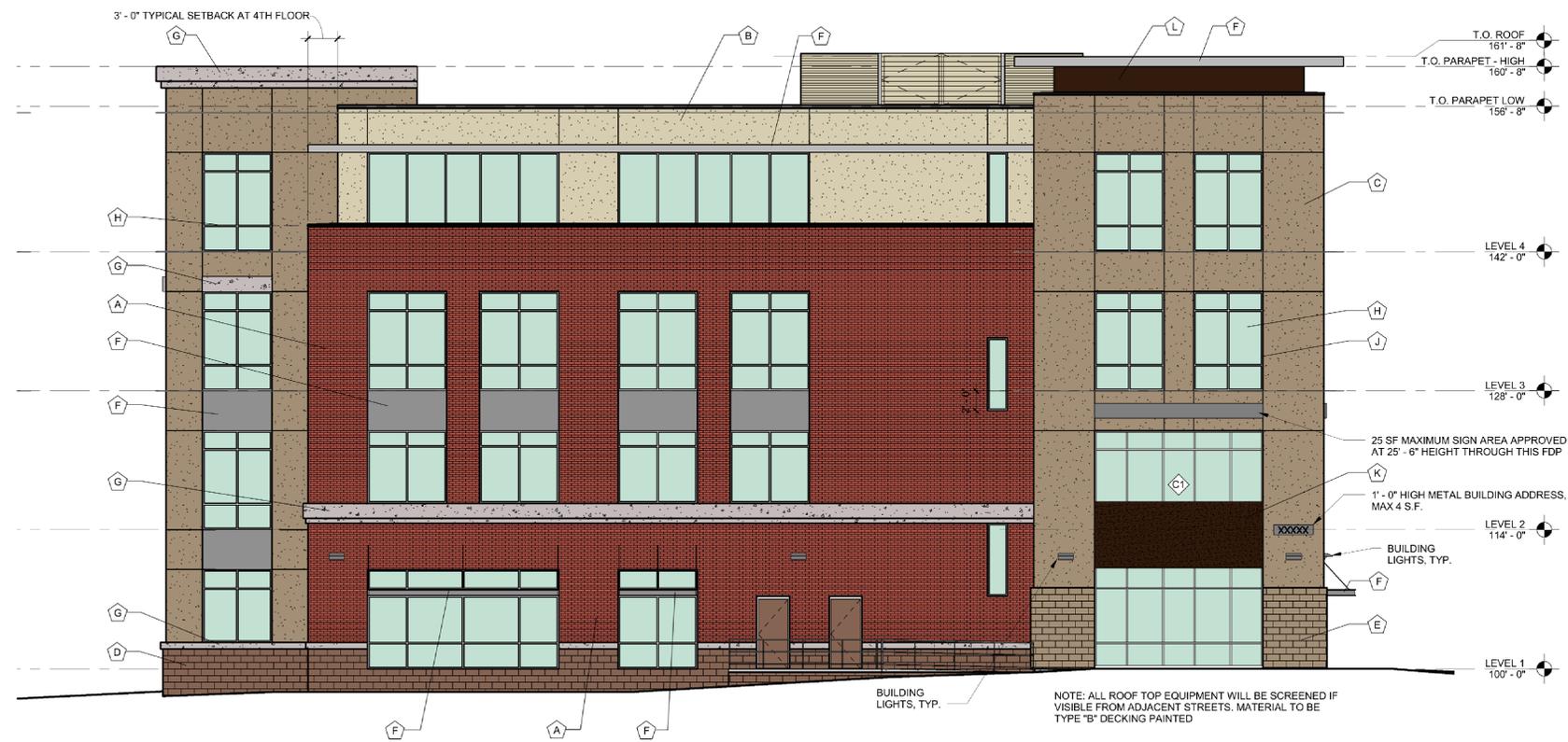
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South & West Medical Building Elevations



SOUTH BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



WEST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

Notes:

1. Roof-top HVAC screens are conceptual and will require additional review by staff at the time of construction drawings.
2. Locations of roof-top HVAC units shall be clustered to the greatest extent possible and setback a minimum of 20' from edges to minimize the need for additional screening.
3. All signs will require a Town of Superior sign permit prior to being constructed and must comply with all applicable requirements of Section 11 of the Superior Town Center Design Guidelines.
4. Signs will be complimentary to the architecture of the building. Cabinet signs will not be permitted.
5. All building signage illumination shall be limited to associated hours of business or to within 1/2 hour after business closure.

EXTERIOR FINISH LEGEND

SYM.	PATTERN	DESCRIPTION	MANUFACTURER / COLOR	FACADE AREA %
A		BRICK	LAKEWOOD BRICK - RED GRAIN	16.1%
B		EIFS - 1	DRYVIT - #108 MANOR WHITE	37.6%
C		EIFS - 2	DRYVIT - #381 MONASTERY BROWN	
D		CMU BLOCK SPLIT FACE	BORAL BEST BLOCK - PADRE REDSTONE SPLIT FACE	5.4%
E		CMU BLOCK GROUND FACE	BORAL BEST BLOCK - SAVIO TAN #637	
F		BRAKE METAL CLADDING	CLEAR ANODIZED	4.0%
G		PRECAST CONCRETE FINISH	LIGHT GRAY	3.3%
H		GLAZING	PPG SOLEXIA	31.8%
J		STOREFRONT FRAMES	CLEAR ANODIZED	
K		METAL AWNING	MATCH DARK BRONZE STOREFRONT COLOR	
L		BRAKE METAL CLADDING	MATCH DARK BRONZE STOREFRONT COLOR	1.3%
M		CONCEPTUAL ROOF SCREEN TYPE "B" DECKING PAINTED	PAINTED TO MATCH EIFS - 1	
		DOORS	HOLLOW METAL	6%

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Project Title:
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

SHEET DATA:
H. SCALE: 1/8"=1' 0"
V. SCALE: N/A
DRN. BY: ADB
DSN. BY: ADB
CHK. BY: SFW

Date **07/27/16**

Sheet Title:
SOUTH & WEST BUILDING ELEVATIONS

Sheet No.

6 of 17

Project No. WB0661-2

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

North & East Medical Building Elevations



NORTH BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: ALL ROOF TOP EQUIPMENT WILL BE SCREENED IF VISIBLE FROM ADJACENT STREETS. MATERIAL TO BE TYPE "B" DECKING PAINTED

Notes:

1. Roof-top HVAC screens are conceptual and will require additional review by staff at the time of construction drawings.
2. Locations of roof-top HVAC units shall be clustered to the greatest extent possible and setback a minimum of 20' from edges to minimize the need for additional screening.
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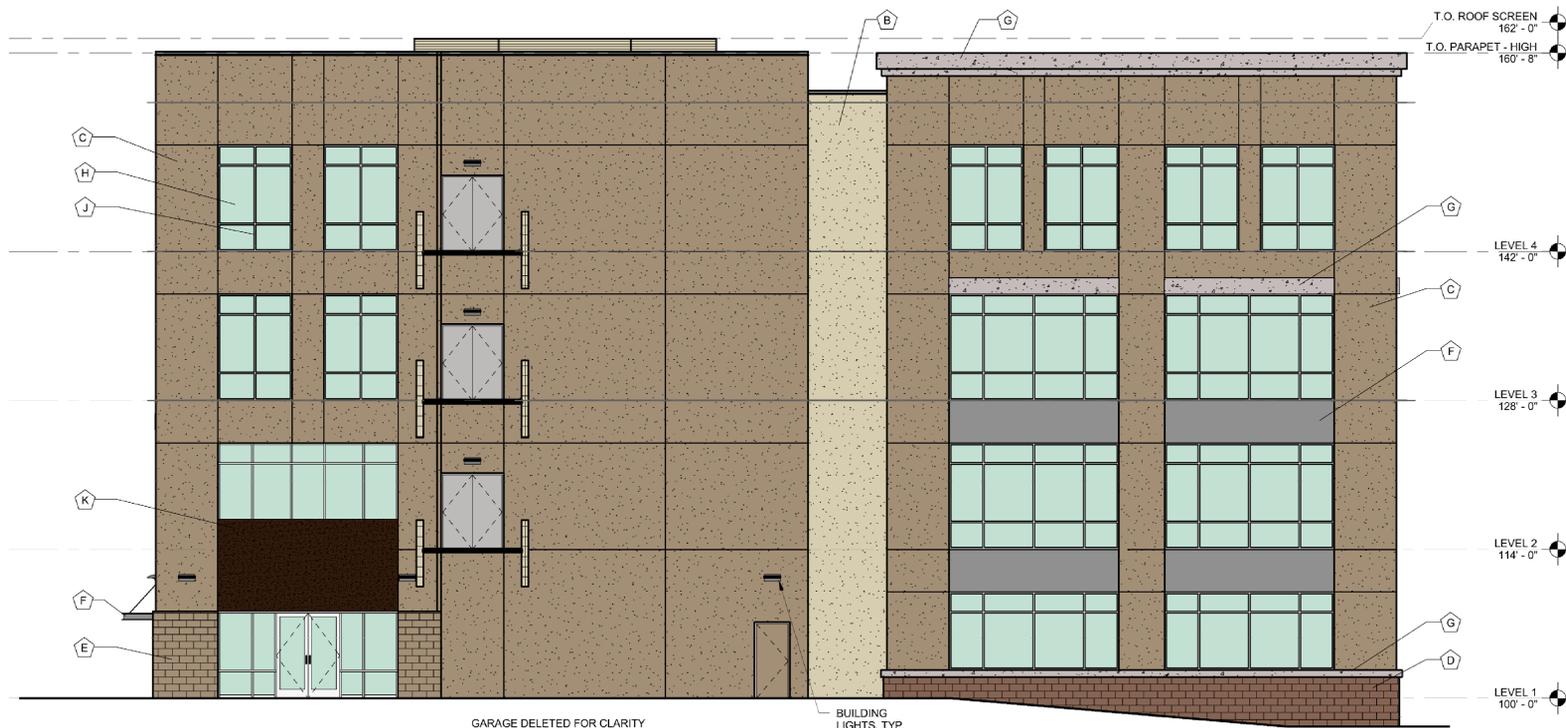
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Sheet Title:
NORTH & EAST BUILDING ELEVATIONS

Sheet No.:

7 of 17

Project No. WB0661-2



EAST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: ALL ROOF TOP EQUIPMENT WILL BE SCREENED IF VISIBLE FROM ADJACENT STREETS. MATERIAL TO BE TYPE "B" DECKING PAINTED

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SYM.	PATTERN	DESCRIPTION	MANUFACTURER / COLOR	FAÇADE AREA %
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D	[CMU Block Pattern]	CMU BLOCK SPLIT FACE	BORAL BEST BLOCK - PADRE REDSTONE SPLIT FACE	
E	[CMU Block Pattern]	CMU BLOCK GROUND FACE	BORAL BEST BLOCK - SAVIO TAN #637	
F	[Brake Metal Pattern]	BRAKE METAL CLADDING	CLEAR ANODIZED	4.0%
G	[Precast Concrete Pattern]	PRECAST CONCRETE FINISH	LIGHT GRAY	3.3%
H	[Glazing Pattern]	GLAZING	PPG SOLEXIA	31.8%
J	[Storefront Pattern]	STOREFRONT FRAMES	CLEAR ANODIZED	
K	[Metal Awning Pattern]	METAL AWNING	MATCH DARK BRONZE STOREFRONT COLOR	--
L	[Brake Metal Pattern]	BRAKE METAL CLADDING	MATCH DARK BRONZE STOREFRONT COLOR	1.3%
M	[Roof Screen Pattern]	CONCEPTUAL ROOF SCREEN TYPE "B" DECKING PAINTED	PAINTED TO MATCH EIFS -1	--
	[Doors Pattern]	DOORS	HOLLOW METAL	6%

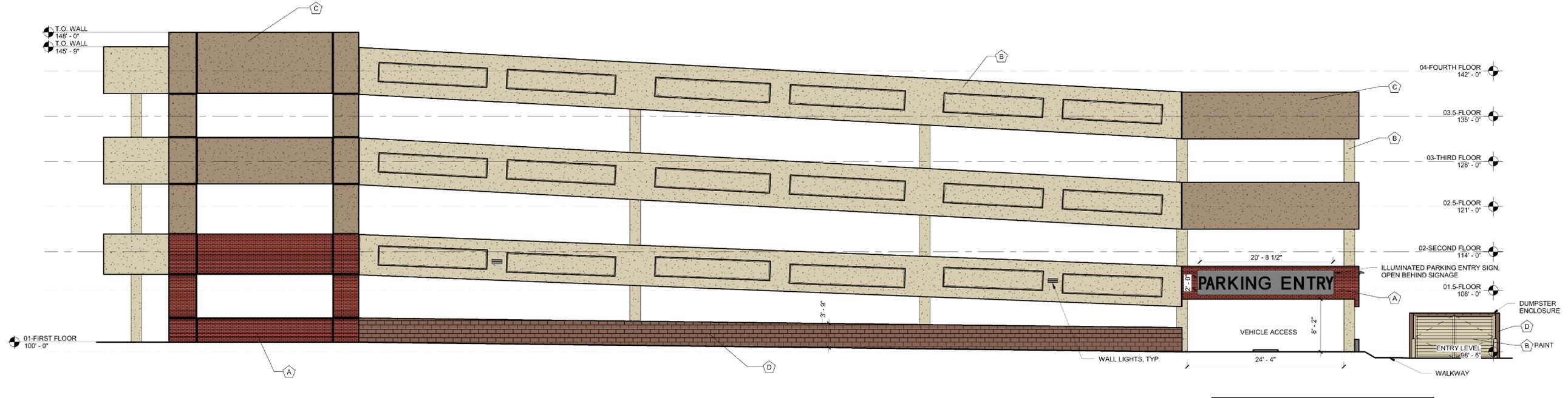
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SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

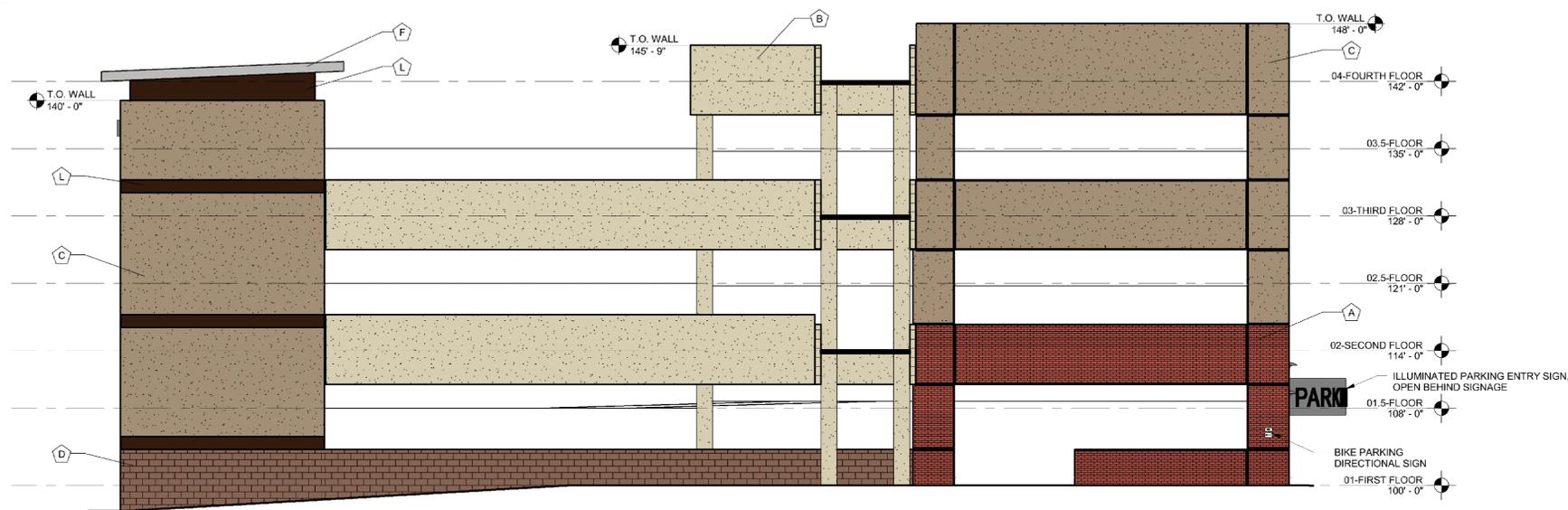
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South & West Garage Elevations



SOUTH GARAGE ELEVATION

SCALE: 1/8" = 1'-0"



WEST GARAGE ELEVATION

SCALE: 1/8" = 1'-0"

Notes:

1. All signs will require a Town of Superior sign permit prior to being constructed and must comply with all applicable requirements of Section 11 of the Superior Town Center Design Guidelines.
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3. Notwithstanding the sign illumination restrictions in the Design Guidelines Supplement, the three (3) signs along the north and east sides of the parking structure facing Highway 36 may remain illuminated indefinitely, as determined by property owner.

EXTERIOR FINISH LEGEND

SYM.	PATTERN	DESCRIPTION	MANUFACTURER / COLOR	FAÇADE AREA %
A	[Brick Pattern]	BRICK	LAKEWOOD BRICK - RED GRAIN	10.3%
B	[Paint Pattern]	PAINT 1 MATCHING EIFS - 1	DRYVIT - #108 MANOR WHITE	81.2%
C	[Paint Pattern]	PAINT 2 MATCHING EIFS - 2	DRYVIT - #381 MONASTERY BROWN	
D	[CMU Block Pattern]	CMU BLOCK SPLIT FACE	BORAL BEST BLOCK - PADRE REDSTONE SPLIT FACE	7.3%
F	[Brake Metal Pattern]	BRAKE METAL CLADDING	CLEAR ANODIZED	.3%
G	[Precast Concrete Pattern]	PRECAST CONCRETE FINISH	LIGHT GRAY	.3%
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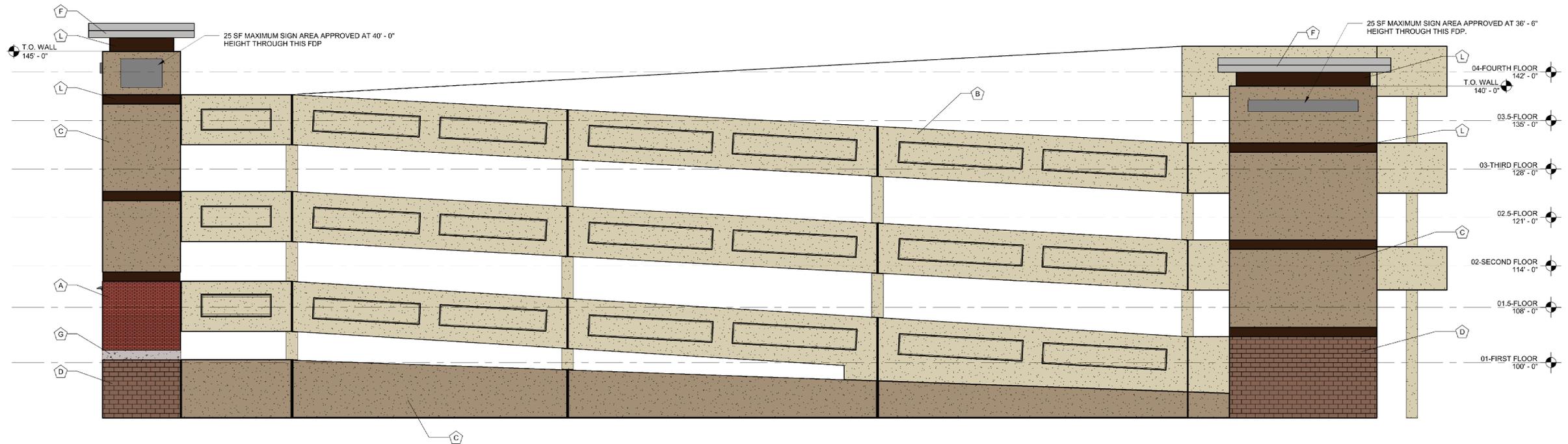
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Project No. WB0661-2

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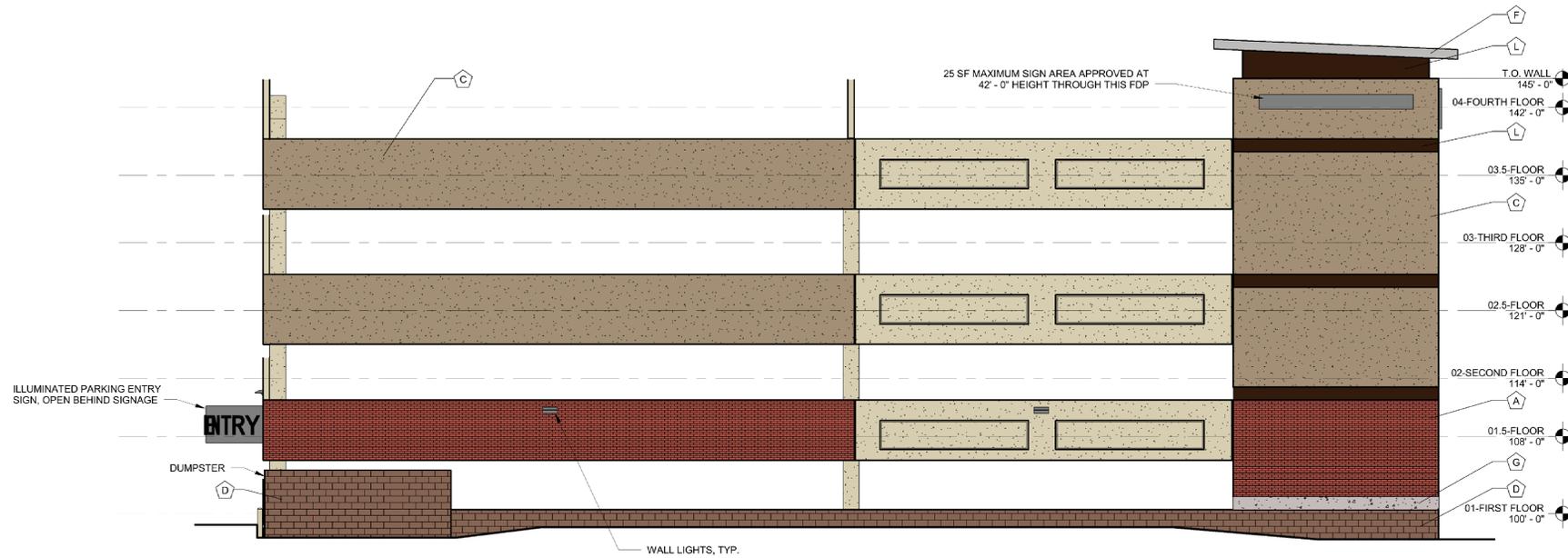
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NORTH GARAGE ELEVATION

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Sheet Title:
**NORTH & EAST
GARAGE ELEVATIONS**

Sheet No.
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Project No. WB0661-2

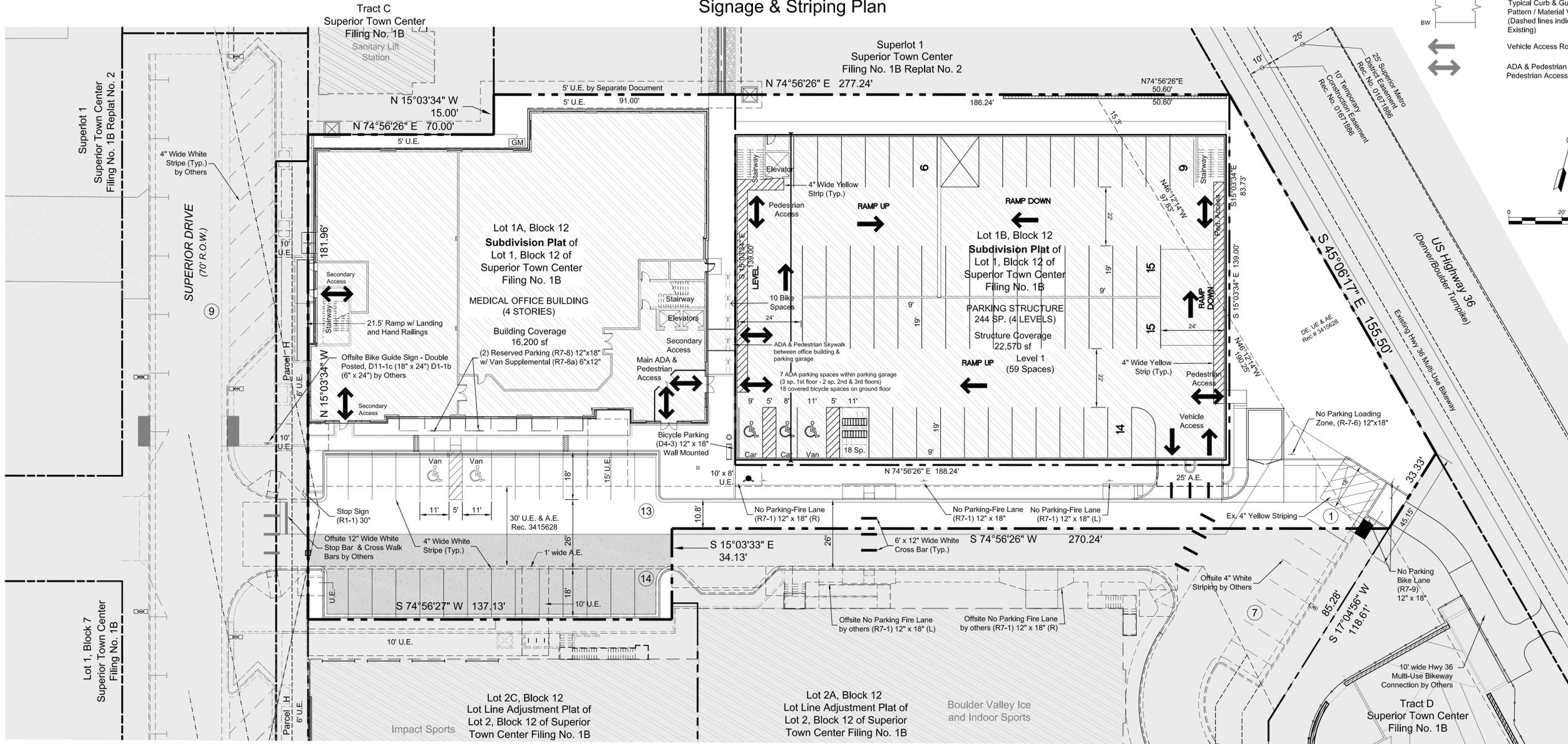
Easement Abbreviations

- D.A.U.E. Drainage, Access & Utility Easement
- A.E. Access Easement
- D.E. Drainage Easement
- U.E. Utility Easement
- P.U.E. Private Utility Easement

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

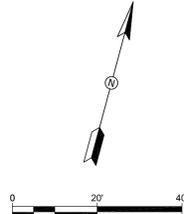
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Signage & Striping Plan



Line Type Legend

- | Line Type | Description |
|-----------|--|
| --- | Boundary Line |
| - - - - | Property Line |
| - · - · - | Easement Line |
| FL | Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing) |
| BW | Vehicle Access Route |
| ↔ | ADA & Pedestrian or Pedestrian Access Route |



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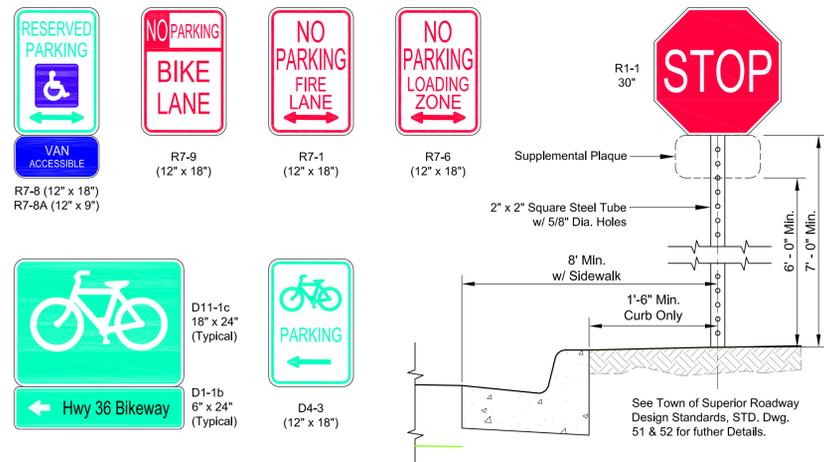
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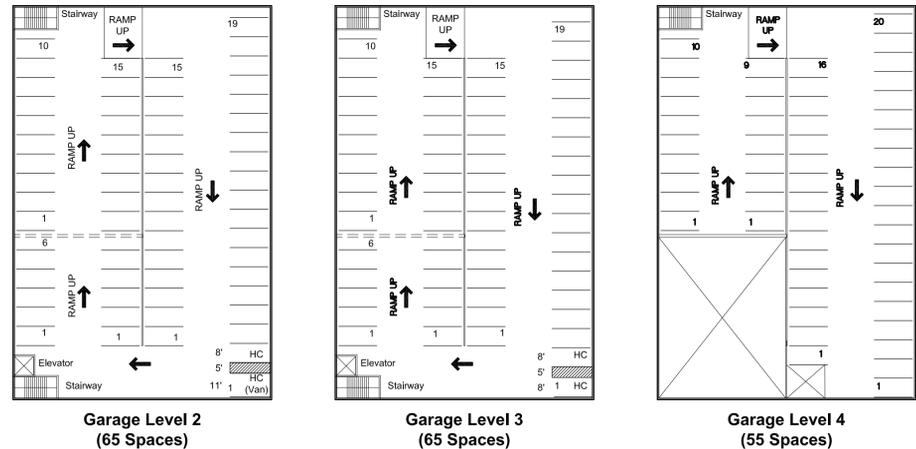
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Regulatory & Destination Signage Details



Garage Level 2, 3 and 4 Floor Plans



Signage & Striping Notes:

- All signs and other traffic control devices shall be installed in accordance with the most current edition of The Manual on Uniform Traffic Control Devices (MUTCD).
- Parking lot pavement markings shall be White - 4" wide Stripes. Stop Bars shall be White and a minimum of 12" wide.
- Signs shall be mounted on 2.25" x 2.25" square galvanized steel tubing with all four sides punched with 3/8" holes at 1" centers and installed with a 2.25" x 3 feet four punch tubing driven into the ground flush to within 1" of ground level. Aluminum blanks of 0.080 gauge is standard.
- The height to bottom of the sign assembly shall be at least 8 feet above the adjacent roadway crown elevation. Post caps and crosses shall have five-inch by one-fourth inch slots for plates.
- All ADA Parking dimensions shall conform to the 2010 ADA Standards, Chapter 5, Sections 502.2 & 502.3. Minimum Car Width 96" w/ 60" aisle, Minimum Van Width 132" w/ 60" aisle.

Vested Rights:

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SHEET DATA:
H. SCALE: 1" = 20'
V. SCALE: N/A
DRN. BY: ADB
DSN. BY: ADB
CHK. BY: SFW

Date: 07/27/16

Sheet Title: SIGNAGE & STRIPING PLAN

Sheet No.: 10 of 17
Project No.: WB0661-2

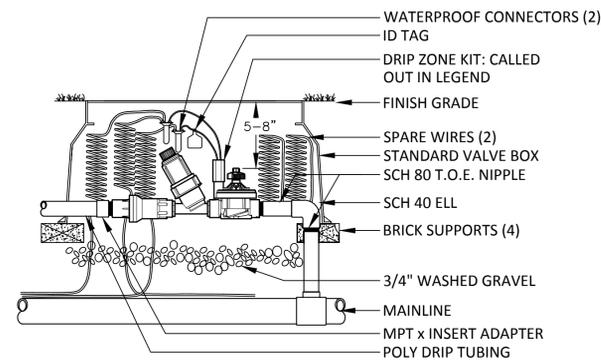
SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

GENERAL NOTES

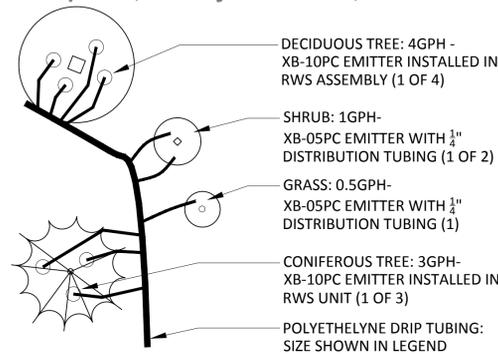
- Water source will be to raw water system adjacent to building.
- System is designed for a dynamic pressure of 50 PSI at 12 GPM. Verify dynamic pressure onsite before installation of system.
- The entire installation shall fully comply with all local and state laws and ordinances and with all the established applicable codes.
- Utility Locates ("Call Before You Dig"): Arrange for and coordinate with general contractor and local authorities the location of all underground utilities. Call 1-800-849-2476.
- Warranty irrigation system for one (1) year from the date of final acceptance of work.
- Do not proceed with the installation of irrigation components when it is obvious in the field that obstructions or grade differences exist that were not considered in the engineering. If discrepancies in the construction documents or field conditions exist, bring them to the attention of the Owner's Representative.
- Sleeving will be installed by the irrigation contractor. Sleeves are required for both piping and control wiring at each hardscape crossing. Size sleeves to be twice the size of the pipe or wire bundle that is carried in said sleeve.
- Mainline Pipe:
 - Use Class 200 SDR 21 NSF approved rigid PVC pipe.
 - Use solvent weld pipe.
 - Use Schedule 40, Type 1, PVC solvent weld fittings. Use primer approved by the pipe manufacturer.
 - Mainline pipe is 1" nominal size unless indicated otherwise.
 - Pipe to be buried with 18-inches of cover.
 - Conduct a mainline pressure test of available pressure over two hours, allowable pressure drop is 5 PSI.
- Drip Tubing:
 - Use 3/4", 60 PSI UV resistant PE Tubing
 - Use Barb fittings w/ stainless steel clamps.
 - Drip tubing to be buried with 4" cover.
- Compact trenches in 6-inch lifts to 90% proctor density. Puddling of trenches is not allowed.
- Provide two (2) operating keys for each type of manually operated valve.
- Furnish accurate reproducible "as-built" drawings showing field changes in layout and equipment installation. As-Built drawings to be plotted out full scale also include an electronic copies in AutoCAD and Adobe Acrobat (PDF) format on CD.
- Clean up all debris related to the job, and leave the site in a clean tidy condition.
- Test and demonstrate to the Owner's Representative the satisfactory operation of the system.

Irrigation Plan



NOTE:
IF DUCTILE IRON FITTINGS ARE CALLED FOR IN THE SPECS,
REPLACE SCH 40 SERVICE TEE WITH DUCTILE IRON SERVICE TEE

2 DRIP REMOTE CONTROL VALVE ASSEMBLY

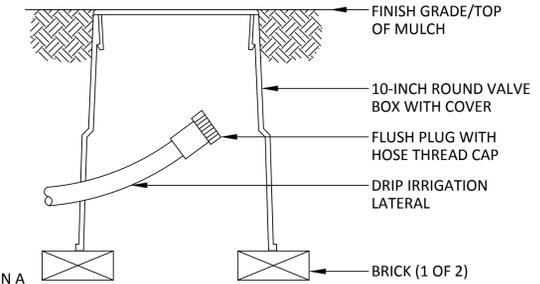


- NOTE:
- MAXIMUM LENGTH OF 1/4" DISTRIBUTION TUBING IS 5-FEET
 - 1/4" TUBING MAY BE OMITTED IF EMITTER IS OVER ROOT BALL.
 - STAKE ENDS OF DISTRIBUTION TUBING ON UPHILL SIDE OF PLANT IF PLANT IS ON A SLOPE.
 - INSTALL EMITTERS TO TREE IN RAINBIRD RWS ROOT WATER SYSTEM
 - FOR NETAFIM DRIP, USE NETAFIM COMPONENTS PER SPECIFICATIONS AND MANUFACTURER RECOMMENDATION.

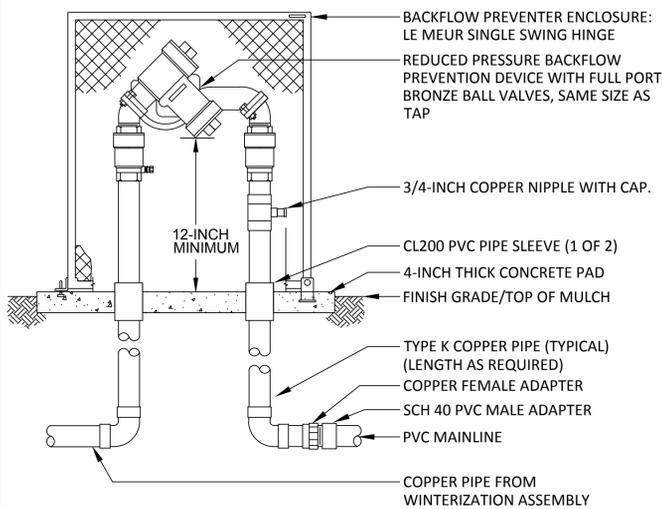
3 TYPICAL EMITTER PLACEMENT AND SCHEDULE

Legend

- Backflow Prevention Device
- Mainline: 1-inch Class200 PVC
- Sleeving: Class 200 PVC, 2-inch unless shown otherwise
- Drip Tubing: 0.75-inch UV Resistant Polyethylene
- Irrigation Controller: Rainbird ESP-SMTe-8
- Drip Remote Control Valve: X CZ-075-PRB-R
- Drip Flush Cap
- Controller Number
- Flow (GPM)
- Valve Size



4 DRIP FLUSH CAP ASSEMBLY

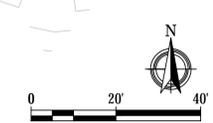
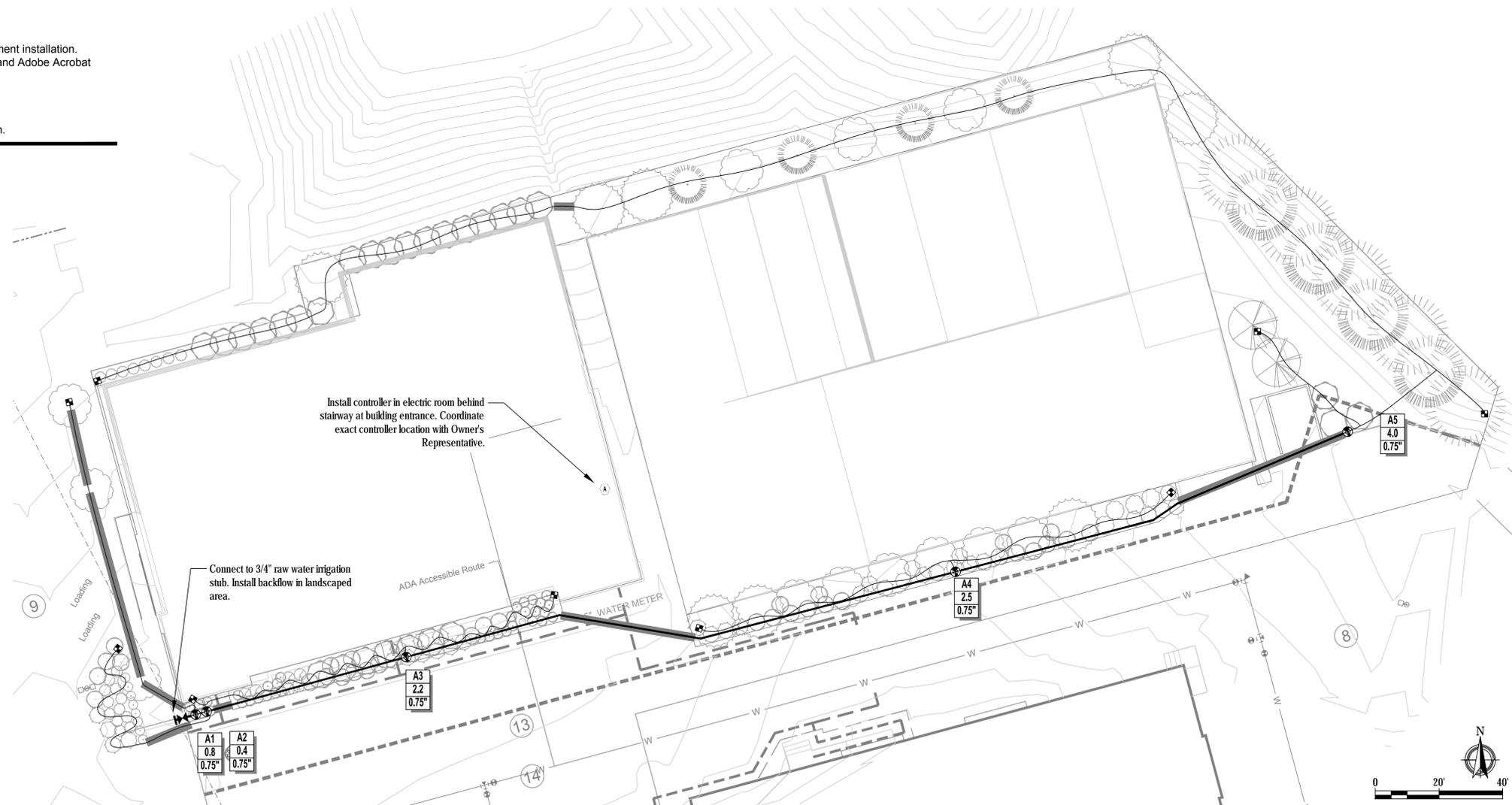


NOTE:
1. FURNISH FITTINGS, PIPE AND MASTER VALVE SIZED IDENTICALLY WITH NOMINAL BACKFLOW PREVENTION DEVICE.

1 BACKFLOW PREVENTION ASSEMBLY

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fax: 970-686-5821
Contact:

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5	05/25/16	PC Resolution Comments

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

H. SCALE: 1" = 20'
V. SCALE: N/A
DRN. BY: TG
DSN. BY: TG
CHK. BY: TG

Date **07/27/2016**

IRRIGATION PLAN

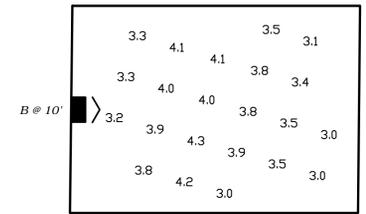
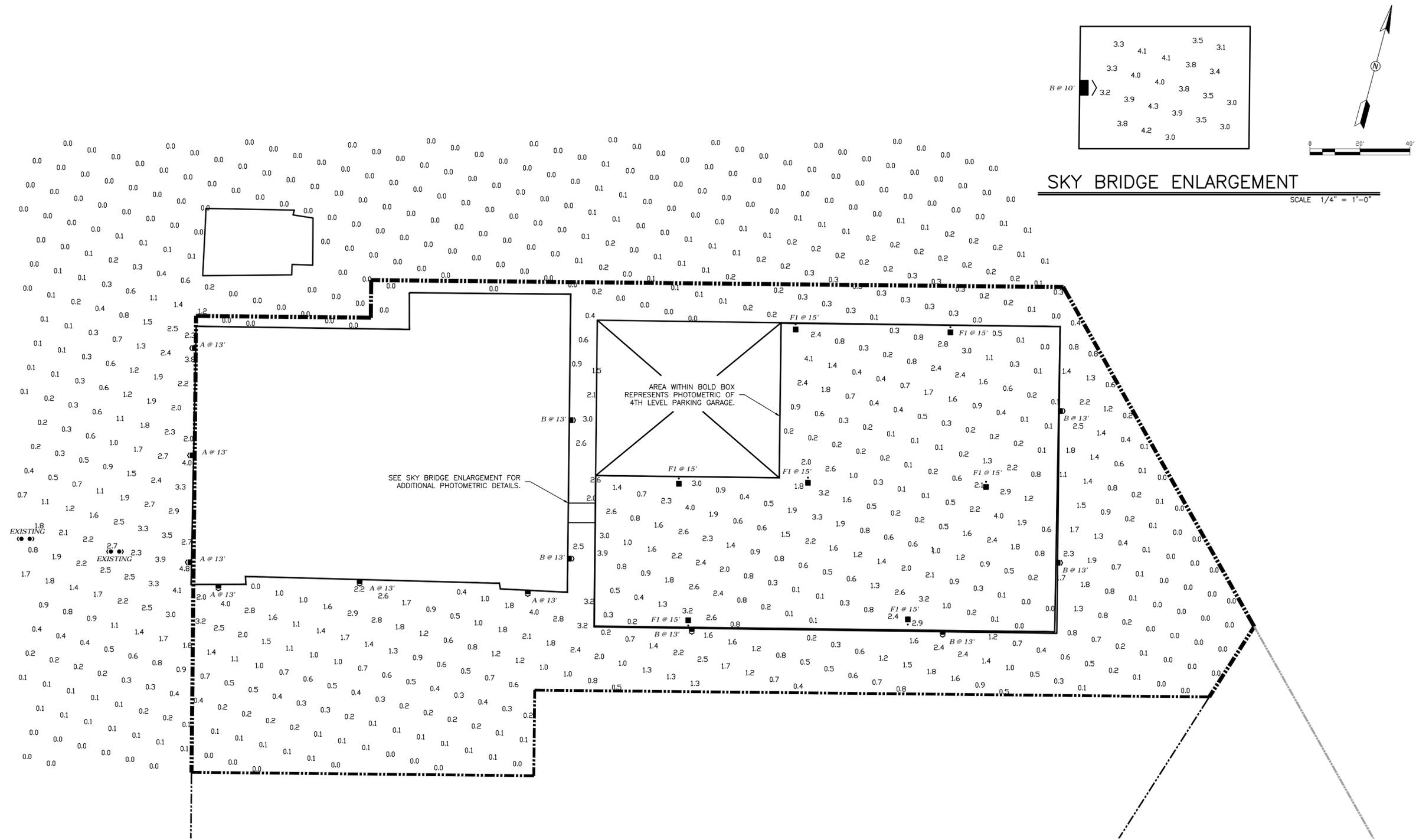
13 of 17

Project No. WB0661-2

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Lighting Plan



SKY BRIDGE ENLARGEMENT

SCALE 1/4" = 1'-0"

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phone: 970-686-5011
fax: 970-686-5821
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Revisions:

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Project Title:
**SUPERIOR TOWN
CENTER FINAL
DEVELOPMENT PLAN
FOR SUPERIOR
MEDICAL OFFICE
BUILDING**

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V. SCALE: N/A
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DSN. BY: ADB
CHK. BY: SFW

Date: **07/27/16**

Sheet Title:
LIGHTING PLAN

Sheet No.
14 of 17

Project No. WB0661-2

Vested Rights:

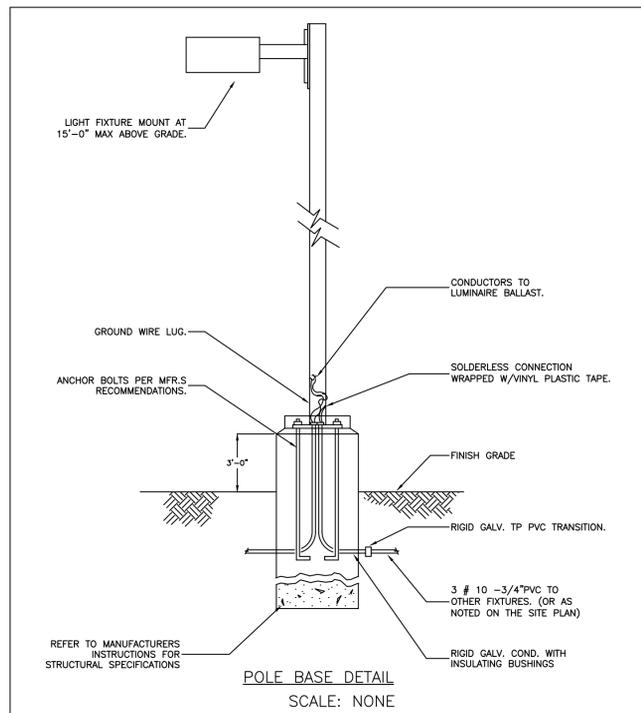
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Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Heights (ft)
	A	6	Lithonia Lighting	DSXW2 LED 20C 700 40K TFTM MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 700mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	LED	1	DSXW2_LED_20C_700_40K_TFT M_MVOLT.ies	4323.825	1	47	13'
	B	9	Lithonia Lighting	DSXW2 LED 20C 350 40K T2M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 350mA DRIVER, 4000K LED, TYPE 2 MEDIUM OPTIC	LED	1	DSXW2_LED_20C_350_40K_T2M _MVOLT.ies	2908.113	1	25	10',13'
	F1	7	Lithonia Lighting	KAD 70M R4	Area Luminaire, 70W MH, R4 Reflector, Full Cutoff, MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 70-WATT CLEAR E-17 METAL HALIDE, HORIZONTAL POSITION.	1	KAD_70M_R4.ies	5600	1	88	15'

Description	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Exterior Lighting	0.5 fc	4.8 fc	0.0 fc	N/A	N/A	0.1:1
Parking Garage (Top Floor)	1.1 fc	4.1 fc	0.0 fc	N/A	N/A	0.3:1
Parking Garage Bridge	3.7 fc	4.2 fc	3.0 fc	1.4:1	1.2:1	0.9:1





D-Series Size 2 LED Wall Luminaire

Specifications Luminaire

Width: 18-1/2" (47.0cm)	Weight: 21 lbs (9.5 kg)
Depth: 3-1/2" (9.0cm)	
Height: 7-5/8" (19.4cm)	

Back Box (BBW)

Width: 5-1/2" (14.0cm)	BBW Weight: 1 lbs (0.5 kg)
Depth: 1-1/2" (3.8cm)	
Height: 4" (10.2cm)	

Ordering Information

Series	LEDs	Driver Current	Color temperature	Distributions	Voltage	Mounting	Control Options
DSXW2 LED	20C 20/10 (two engines)	530 350mA	30K 3000K	T2S Type II Short	120 ¹	Surface-mounted back box (for conduit entry)	PHOTOCYCLED PHOTOCYCLED PHOTOCYCLED
			40K 4000K	T2M Type II Medium	208 ¹		
			50K 5000K	T3S Type III Short	240 ¹		
	30C 30/10 (three engines)	1000 3000mA (1A)	30K 3000K	T3M Type III Medium	240 ¹	Surface-mounted back box (for conduit entry)	PHOTOCYCLED PHOTOCYCLED PHOTOCYCLED
			40K 4000K	T4M Type IV Medium	277 ¹		
			50K 5000K	T5M Type V Medium	347 ¹		
	40K 40/10 (four engines)	1000 4000mA (1A)	30K 3000K	T5M Type V Medium	347 ¹	Surface-mounted back box (for conduit entry)	PHOTOCYCLED PHOTOCYCLED PHOTOCYCLED
			40K 4000K	T6M Type VI Medium	480 ¹		
			50K 5000K	AS5DF Asymmetric diffuse			

Accessories

DL107 1.5 ft	Practical - SS twist lock (138-0770) *
DL107 1.5 ft (B)	Practical - SS twist lock (3470) *
DL107 1.5 ft (B)	Practical - SS twist lock (4891) *
SC1	Shelving cap *
DSXW2U	House side shield (see per light engine)
DSXW2BU	Red-dimension gullies
DSXW2CU	Wire guard accessory
DSXW2W	Lock key accessory (see page 10)
DSXW2D	

Notes:

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing DS.
- DSF option is photo-cyclical (PE option).
- Also available as a separate accessory; see Accessories information.
- Photo-cyclical (PE) requires 120, 208, 240 or 277 voltage option. Not available with motor/ambient light sensors (PIR or PIRL).
- Specify a R4000MHV anodized luminaire with 0-10V dimming capability. PER option required. Not available with S4X, S8V or PIRH. Additional hardware and services required for R4000MHV deployment; must be purchased separately. Call 1-800-445-6742 or email sales@lithonia.com.
- Specify the Sensor Switch (SS) or DSXW2-CDF control; see Vision Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (Sensor type photo-cyclical) or DSXW2-CDF control.
- PIR and PIRH/PIV specify the Sensor Switch (SS) or DSXW2-CDF control; PIRH and PIRH/PIV specify the Sensor Switch (SS) or DSXW2-CDF control; see Vision Sensor Guide for details. Dimming driver standard. Not available with PER or PERL. Ambient sensor disabled when ordered with DSXW2-CDF.
- Separate on/off required.
- Single line 50V requires 120, 277 or 347 voltage option. Double line (DS) requires 208, 240 or 480 voltage option.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate item.



LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE - Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION - Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant, tempered, glass lens that is fully gasketed with one-piece tubular silicone.

FINISH - Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

OPTICS - Anodized, aluminum reflectors: RS (full cutoff distribution) (2 (asymmetric), 3 (symmetric), 4 (forward throw) and RS (square) are interchangeable. High-performance anodized, segmented aluminum reflectors: RS (full cutoff distribution) (2 (asymmetric), 3 (symmetric) and SR (square) (forward throw, sharp cutoff). High-performance reflectors attach with tool-less fasteners and are reusable and interchangeable.

ELECTRICAL - Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCWA" not required. Constant wattage autotransformer for 175-400W. Super CWA (pulse start ballast), 80% efficient and EISA legislation compliant, is required for metal halide 151-400W (SCWA option) for US shipments only. CSA, NOM or IHL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 330W, or 350W. Ballast is 100% factory-tested.

Socket - Parallel, horizontally oriented medium base socket for 70-150M. Mogul base socket for 175M and above, and 70-400W, with copper alloy, nickel-plated cover shell and center contact. UL listed 1500W, 600V.

LISTINGS - UL Listed (Standard), CSA Certified (see Options), UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 625.

WARRANTY - 1 year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomResources/terms_and_conditions.aspx

Note: Specifications subject to change without notice.



KAD

ORDERING INFORMATION For shortest lead times, configure products using **bolded** options.

Series	Wattage	Distribution	Voltage	Ballast	Mounting ¹¹					
KAD	Metal halide 700W 2500W ¹ 1000W 3200W ¹ 1500W 3500W ¹ 175W 4000W ¹ 200W ¹	Ceramic metal halide R2 R2 R2 R2 R2 R2	CSA Certified INTEL Available for probe start shipping outside the U.S. RECC1 California Title 20, effective 1/1/2010	High performance reflectors ⁸ R2 R2 R2 R2 R2 R2	120 208 240 ¹ 277 347 480 ¹ 200/208 ¹	Magnetic ballast CWI CWI CWI CWI CWI CWI				
							Shipped installed ¹² PH PH PH PH PH PH	Shipped separately ¹³ PH PH PH PH PH PH	Finish ¹⁴ DDB DDB DDB DDB DDB DDB	Lamp ¹⁵ LPI LPI LPI LPI LPI LPI
	Accessories: Tennon Mounting Slipfitter (P/xx required) Order as separate catalog number. Must be used with pole mounting.	Notes: 1 Not available with SCWA. 2 Not available with 480V. 3 These wattages do not comply with California Title 20 regulations. 4 Must be ordered with SCWA. 5 These wattages require the RECC2 option to be chosen for shipments into California for Title 20 compliance. 220W RECC2 is not available in 347 or 480V. 6 Reduced jacket EDD required for SR2, SR3 and SR5 optics. 7 House-side shield available.	8 High performance reflectors not available with PIRH. 9 Must specify CWI for use in Canada. 10 Optimal metal halide (DDB, SR3, 240, 277 in Canada: 125, 277, 347V). 11 Most available wattage lamp included as necessary. 12 These wattages require the RECC2 option to be chosen for shipments into California for Title 20 compliance. 220W RECC2 is not available in 347 or 480V. 13 May be ordered as an accessory. 14 Must specify finish when ordered as an accessory. 15 Must use R4000.							
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OUTDOOR KAD-8-8

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 phone: 970-686-5011
 fax: 970-686-5821
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Revisions:

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Date: **07/27/16**

Sheet Title: **LIGHTING CUTSHEETS AND DETAILS**

Sheet No. **15 of 17**

Project No. **WB0661-2**

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Streetscape Plan

Easement Abbreviations

D.A.U.E. Drainage, Access & Utility Easement
 A.E. Access Easement
 D.E. Drainage Easement
 U.E. Utility Easement
 P.U.E. Private Utility Easement

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6	06/30/16	Rev. Clerk Certificate
7	07/27/16	Rev. Per Staff Comments

Project Title:

**SUPERIOR TOWN
 CENTER FINAL
 DEVELOPMENT PLAN
 FOR SUPERIOR
 MEDICAL OFFICE
 BUILDING**

SHEET DATA:

H. SCALE: 1" = 20'
 V. SCALE: N/A
 DRN. BY: ADB
 DSN. BY: ADB
 CHK. BY: SFW

Date **07/27/16**

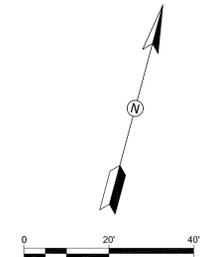
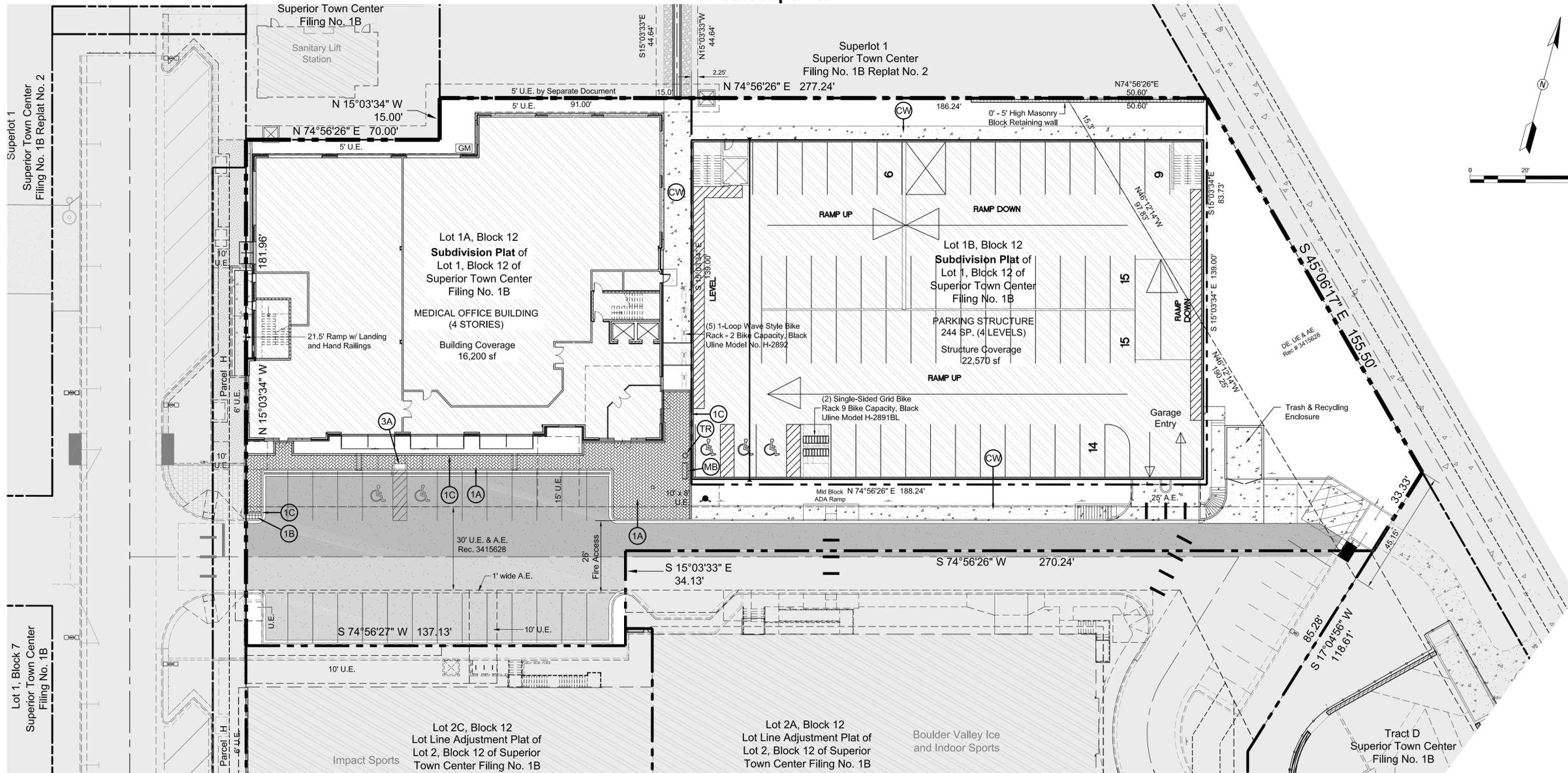
Sheet Title:

STREETSCAPE PLAN

Sheet No.

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Project No. WB0661-2



Line Type Legend

Line Type	Description
---	Center Line
- - - -	Easement Line
FL	EDA
TBC	Typical Curb & Gutter, Pattern / Material Varies. (Dashed lines indicate Existing)
BW	

Symbol Legend

Symbol	Description
[Hatched Box]	Property Outside Development Application
[Dark Grey Box]	Asphalt Pavement
[Light Grey Box]	Asphalt Pavement - Existing
[Hatched Box]	Buildings / Structures
(1C)	Material Symbol - Onsite
↔	Vehicle Entry & Ramp Direction

Plan Notes:

- Hardscapes shown westerly of the easterly curb line along Superior Drive are "Not Part" of this Final Development Plan. These Hardscapes are shown for informational purposes and may not accurately depict final materials or placement by Superior Town Center (STC).
- Concrete Pavers listed are manufactured by Pavestone, LLC, Denver CO., Approved equal Manufacturer colors and materials may be substituted for these products.

Vested Rights:

THIS PLAN CONSTITUTES A SITE SPECIFIC DEVELOPMENT PLAN AS DEFINED IN SECTION 24-68-101, et seq., C.R.S., AND CHAPTER 16 OF THE SUPERIOR MUNICIPAL CODE, AVAILABLE AT THE SUPERIOR TOWN HALL, 124 EAST COAL CREEK DRIVE, SUPERIOR COLORADO. SUCH A VESTED RIGHT SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS, PURSUANT TO APPROVAL BY THE TOWN OF SUPERIOR BOARD OF TRUSTEES ON _____ DAY OF _____, 20____.

Material and Color Schedule

Symbol	Materials & Color	Locations
(1A)	Type 1A: Concrete Unit Paver (Holland Stone Series, 4" x 8" Herringbone Pattern / Color: Winter Blend), 60 mm (2-3/8")	Pedestrian Areas
(1B)	Type 1B: Concrete Unit Paver (City Stone III Series, 12" x 12" Stack Pattern / Color: Light Brown), 60 mm (2-3/8")	Pedestrian/Curb/Tree Grate Band Areas
(1C)	Type 1C: Concrete Unit Paver (Holland Stone Series, 4" x 8" Soldier Pattern / Color: Light Brown), 60 mm (2-3/8")	Pedestrian/Curb/Tree Grate Band Areas
(3A)	Type 3A: ADA Compliant Paver 3-7/8" x 7-13/16" ADA - Parquet Pattern / Color: River Red), 60 mm (2-3/8")	Crosswalk Approach
(BR)	Type BR: 2 Bicycle Rack; Manufacturer: MadRax, Style: 'UX' Rack (with Lean Bar), Color: Black Powder Coat or Equiv.	As Shown on Plan
(BR)	Type BR: 9 or 18 Sp. Rack; Manufacturer: MadRax, Style: Gridrac, Color: Black Powder Coat or Equiv.	As Shown on Plan
(CW)	Type CW: Standard Concrete Sidewalk	Internal Sidewalks
(MB)	Type MB: , Color: Black Powder Coat or Equiv.	Pedestrian Areas
(TR)	Type TR: Receptacle - Manufacturer: DuMor Style: 148	Pedestrian Areas

SUPERIOR TOWN CENTER FINAL DEVELOPMENT PLAN FOR SUPERIOR MEDICAL OFFICE BUILDING

Lots 1A and 1B, Block 12, Subdivision Plat of Lot 1, Block 12 of Superior Town Center Filing 1B, situated in the NW 1/4 of Section 19, Township 1 South, Range 69 West of the 6th Principal Meridian, Town of Superior, County of Boulder, State of Colorado.

Streetscape Details



TR - Trash Receptacle
Manufacturer: DuMor Style: 148,
Color: Black Powder Coat or Equivalent



MB - Metal Seat Bench - 72"
Manufacturer: Dumor Style: 58,
Color: Black Powder Coat or Equivalent



Masonry Block Retaining Wall

Wall Height Varies - See Drainage Plan for Wall Height.
Structural Design may vary at time of construction.



1A & 2A - Holland Series Paver - Winter Blend
Pavestone or Equivalent



1B & 2B - City Stone III Series, 12" x 12" - Light Brown
Pavestone or Equivalent



9 or 18 Sp. Rack: Manufacturer: MadRax,
Style: Gridrac, Color: Black Powder Coat or Equiv.



2 Bicycle Rack: Manufacturer: MadRax,
Style: 'UX' Rack (with Lean Bar), Color: Black Powder Coat or Equiv.

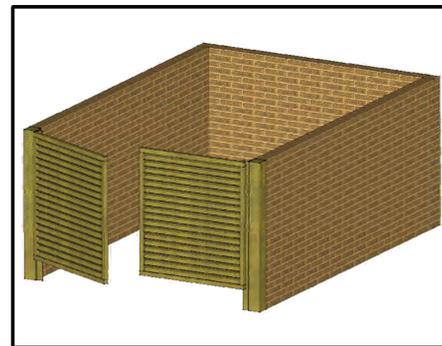
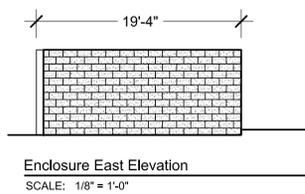
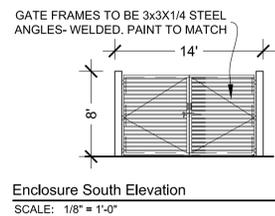
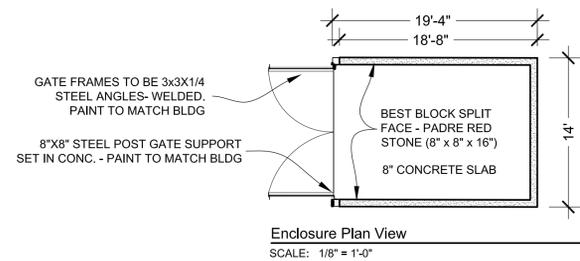
BR - Bicycle Rack Styles



1C - Holland Series Paver - Light Brown
Pavestone or Equivalent



3A - ADA Pavers - River Red
Pavestone or Equivalent



Enclosure Prospective View

Trash and Recycling Enclosure

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Civil Engineer:
WBC Engineering & CM, LLC

P.O. Box 450625
Aurora, CO, 80046-0625
303-365-9825 office
303-365-9827 fax
www.wbceng.com
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Managing Member
abronson@wbceng.com
Civil Engineering, Structural Engineering
Land Planning, Construction Management

Applicant:
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Superior Medical Investors, LLC,
an Idaho Limited Liability Company
PO Box 4767
Ketchum, ID 83340
Contact: Clay Sammis

Property Owner:
RC Superior, LLC
RC Superior, LLC
a Delaware Limited Liability Company
219 Second Avenue
Superior, CO 80027

Prepared For:
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12000 E. 47th Ave, Suite 201
Denver, Colorado 80239
303-289-0666 Office
303-912-4616 Cell
303-289-6916 Fax
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robertk@dspbuilders.com

Land Surveyor:
King Surveyors, Inc.
650 East Garden Dr.
Windsor, CO 80550
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Contact:

Revisions:

No.	Date	Description
1	07/27/16	Date of Preparation
2	07/27/16	1st Submittal Comments
3	04/29/16	2nd Submittal Comments
4	05/19/16	3rd Submittal Comments
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Date: **07/27/16**

Sheet Title:
STREETSCAPE DETAILS

Sheet No.

17 of 17

Project No. WB0661-2